

CITY OF GRAND LEDGE

Established 1893

Zoning Administrator

Ph: (517) 627-2149

Fax: (517) 627-9796

319 Taylor St.

Grand Ledge, MI 48837

sstachowiak@grand-ledge.com

NOTICE

The Grand Ledge Planning Commission will conduct its regular meeting on **Thursday, April 4, 2013 at 7:00 p.m.** The meeting will be held at Grand Ledge City Hall, 200 E. Jefferson St., Grand Ledge, MI.

AGENDA

1. Call to Order
2. Pledge of Allegiance
3. Approval of the Agenda
4. Approval of minutes of regular meeting held February 7, 2013
5. Notice of Agenda Item Conflicts
6. Business from the Floor

New Business

7. Site Plan Review – Units 13 & 14, Ledges Commerce Park – New Parking Lot
8. Zoning Ordinance Amendments – Section 220-71, Corner Clearance – Section 220-72, Access to a Street – Section 220-73, Residential Entranceway & 220-74, Access Management

Old Business

Other Business

9. Joint Planning Committee Report
10. Review of Violation Report
11. Zoning Administrator's Report
12. Zoning Board of Appeals Representative's Report
13. Council Representative's Report
14. Mayor's Comments
15. Comments from Commissioners
16. Chairman's Report

City of Grand Ledge
Planning Commission Meeting
Minutes from Meeting Held on
Thursday, February 7, 2013

Chairman Mike Stevens called the meeting to order at 7:00 p.m.

Attendance: Mike Stevens, Bob Doty, Ann Lawrence, Jamie Malecki, Todd Gute, Bill Kane, Steve Willobee, Ron Graber and Eric Morris. Also present: Zoning Administrator Sue Stachowiak, Council Representative Thom Sowle, Building Inspector Scott Weaver and Mayor Kalmin Smith. Absent: Steve Baribeau

Pledge of Allegiance – Mr. Graber led those present in the pledge of allegiance.

Approval of the Agenda

Mr. Doty made a motion, seconded by Mr. Willobee to approve the agenda with the addition of “Parks Proposal by Joint Planning Committee”. Motion carried 8 - 0.

Approval of the Minutes

Mr. Doty made a motion, seconded by Mr. Willobee to approve the minutes with the following corrections:

1. Page 1, Attendance. Ms. Lawrence was not at the January 3, 2013 meeting.
2. Page 3, first paragraph, should state that “..., he does not believe that the DEQ will not take enforcement action.”
3. Page 3, 3rd paragraph from the bottom, delete “fixed (not adjustable)”.

Motion carried 8 - 0.

Notice of Agenda Items Conflicts

Mr. Gute stated that he has a conflict with item 8 as he is the architect for the project.

Mr. Stevens stated that his company may bid on the Greenwood School project.

Business from the Floor – None

NEW BUSINESS

Site Plan Review – 1045 Charlevoix Drive – Phase 2, Medical Office Building

Ms. Stachowiak stated that the site plan is for phase 2 of Dr. Smith’s medical building located at 1045 Charlevoix Drive. Phase 2 involves the construction of a single story, 11,558 square foot building located immediately west of the building that is currently under construction at this location. She said that the site plan complies with all aspects of the Zoning Ordinance and therefore, staff is recommending that it be approved subject to applicable items contained in the reviews from the City Engineer, Public Service Director and Fire Department.

Planning Commission Minutes

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Dr. Smith stated that phase one of the project is progressing very well. He said that the Portable Care Act has now been passed and the impact on medicine is going to be tremendous. Both Lansing's hospitals have come together to work on this project and as a result, Grand Ledge will benefit immeasurably. He said that they consulted with 3 landscape architects and the landscaping will far exceed any ones expectations.

Mr. Kane stated that he is concerned about the trees that are going to be removed but understands why it is necessary.

Dr. Smith stated that he will get the largest trees that can safely be moved.

Mr. Willobee made a motion, seconded by Mr. Gute to approve the site plan prepared by Bergmann Associates, dated January 7, 2013 for phase 2 of Dr. Smith's medical building located at 1045 Charlevoix Drive, subject to compliance with the applicable items contained in this staff report and the reviews from the City Engineer, Public Service Director and the Grand Ledge Area Fire Department. Motion carried 8-0.

Site Plan Review – 310 Greenwood Drive – Conversion to City Hall/Police Station

Ms. Stachowiak stated that site plan prepared by Fitzgerald Henne & Associates, dated January 18, 2013, is for site improvements and a 2,718.75 square foot police garage building addition to facilitate the conversion of Greenwood School, located at 310 Greenwood Street, into a new city hall and police station. She said that the site plan does not demonstrate compliance with the parking requirements, although doing so would result in the elimination of the green space on the site. Furthermore, it is determined that the amount of on-site parking in combination with on-street parking in the area will be sufficient to accommodate the proposed uses.

Ms. Stachowiak stated that the landscape plan complies with all requirements of the Zoning Ordinance with the exception of the minimum starting size for the plant materials. The Ordinance requires a minimum starting size of 3.5 caliper inches for each required tree and a minimum starting size of 24 inches in height and spread for each required shrub. She also said that at least one bicycle rack that can support two bicycles in an upright position is required.

Ms. Stachowiak stated that staff is recommending approval of the site plan prepared by Fitzgerald Henne & Associates, dated January 18, 2013, for site improvements to facilitate the conversion of Greenwood School, located at 310 Greenwood Street, into a new city hall and police station, subject to compliance with the applicable items contained in the staff report and the applicable items contained in the reviews from the Public Service Director and the Grand Ledge Area Fire.

Mr. Gute stated that the various entrances to the building will be handicap accessible and sidewalks added around the site. He also reviewed the possible modifications to the intersections at Washington and Greenwood. He said that there is existing playground equipment that will be relocated to allow for continued use by the neighborhood and a half-court basketball court will be provided as well. He also stated that there will be split rail fencing around the playground area.

Planning Commission Minutes

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Mr. Willobee suggested connecting the fencing as much as possible. He also said that as a resident of the area, he is concerned about kids running out into the streets. To that end, he suggested a chain link fence as it make the playground area much safer than a split rail fence.

Mr. Gute stated that split rail fence was suggested as it will look much better than a chain link fence.

Mr. Graber suggested keeping the existing fence to provide a safer playground for the children.

Mr. Gute stated that they will comply with the City landscape requirements and will let the Greenwood Building Committee know that the Commission strongly recommends a chain-link fence versus a split rail fence.

Mr. Stevens stated that the parking spaces at the southwest corner of the parking lot may be too difficult for drivers to maneuver in and out of. It was recommended that the parking area be widened in this location to allow more room for maneuvering.

Mr. Doty made a motion, seconded by Ms. Malecki to approve the site plan prepared by Fitzgerald Henne & Associates, dated January 18, 2013, for site improvements to facilitate the conversion of Greenwood School, located at 310 Greenwood Street, into a new city hall and police station, subject to compliance with the applicable items contained in the staff report, compliance with the Zoning Ordinance regulations relative to landscaping, the city consider a chain-link, rather than a split rail fence around the playground area and compliance with the applicable items contained in the reviews from the Public Service Director and Grand Ledge Area Fire Department. Motion carried 8-0.

OLD BUSINESS

Seven Islands Dam Study & Report

Mr. Doty stated that on 28 January 2013, the City Council authorized a four-phase study and report by Fitzgerald Henne & Associates in the amount of \$15,000.

Mr. Minshall said that for the time being, the study is limited to phase one - meetings with the MDEQ to discuss the status of the dam, the City's objectives and what projects would be potentially and recommendations based on those meetings. The other three phases of the study involve: 1) a hydraulic analysis to determine the minimum number and optimum size of replacement gates; 2) access and safety issues including recommendations for a new catwalk, new lifting hoist, safety rails and fencing or other protective mechanisms; and 3) make recommendations to provide repairs and cut off the erosion that is undermining the concrete spillway apron which has broken off and settled.

Storm Water Control Ordinance

Greg Minshall, Fitzgerald Henne & Associates, stated that he addressed all of the notes in the email from Eric Morris regarding the ordinance. There were also a lot of references to "Director of Public Works" throughout the ordinance which I changed to "Public Service Director" to be consistent with our wording in the SWMP and other documents.

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Mr. Minshall said that the maintenance guarantee, not the performance guarantee is defined in Section 176-13 and they are not the same thing. He said that he would assume a maintenance guarantee and a performance guarantee would be needed. The maintenance guarantee is defined as "not less than 10 percent of the cost of the stormwater facilities for projects of less than \$100,000 or five percent of the cost for projects over \$100,000." where the performance bond is determined by the Public Service Director. So the way the ordinance has these laid out should remain the same. Mr. Minshall said that the only change he made was instead of calling the maintenance guarantee a "deposit", he called it a maintenance guarantee. Other than that there were just some small edits that needed to be made and references to section numbers that were changed etc.

Mr. Kane expressed concern about the City being mandated to enact this ordinance.

Mr. Doty stated that the City is going to have to adopt this ordinance at some point and therefore, he would like to move it forward to get it off of the Commissions' docket.

Mr. Stevens stated that appreciates Mr. Kane's concerns but this ordinance does not require anything out of the ordinary and he is ready to vote to approve it and move it forward to City Council.

Mr. Doty made a motion, seconded by Mr. Willobee to recommend approval of the proposed Storm Water Control Ordinance. Motion carried 8-0.

Zoning Ordinance Amendments – Exterior Lighting

Ms. Stachowiak stated that she made the changes suggested at the last meeting. She stated that if the Commission so desires, a public hearing can be set for the next meeting.

The Commission agreed to hold a public hearing at the next meeting.

OTHER BUSINESS

Joint Planning Committee Report

Mr. Doty stated that the Joint Planning Committee reviewed several proposals to complete the Jaycee Park Riverview Master Plan. He said that it was the recommendation of the Committee to go with the proposal from Beckett and Raeder. Mr. Doty said that his company will also prepare a grant application for anything that might be available. The original amount for this project was \$5,000, and that was increased to \$7,600 (\$2,500 from DDA, \$2,500 from Park & Rec., and \$100 from Planning). Mr. Doty said that the Commission does not have to provide the \$100 as originally anticipated.

Mr. Doty made a motion, seconded by Mr. Willobee to recommend accepting the proposal by Beckett and Raeder to complete the Jaycee Park Riverview Master Plan. Motion carried 8-0.

Review of Violation Report

Ms. Stachowiak reviewed the violation report.

Planning Commission Minutes

February 7, 2013

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Mr. Doty stated that there is still a dead tree on the property next to his house but he spoke with Ms. Stachowiak and it will be taken care of once the weather changes.

Mr. Graber stated that there is still an issue of the fence on DeGroff Street.

Zoning Administrator's Report - None

Zoning Board of Appeals Representative's Report

Mr. Graber stated that the ZBA will be having a meeting regarding 216 S. Clinton Street (Serenity Place). He said that the property is being sold and in order to secure financing for the sale, the site has to be in complete compliance with all zoning requirements. The only aspects of the site that are not in compliance with the zoning requirements are the height and number of stories for the building. The current ordinance allows a maximum of 2 stories and 30 feet in height for the subject property. The existing building is 5 stories and 38.6 feet in height. Therefore, the applicants are seeking variances to bring the building into compliance with the existing zoning ordinance.

Council Representative's Report - None

Mayor's Comments

Mayor Smith stated that he pleased with the Greenwood School conversion proposal. He also spoke about the utility billing situation and stated that Council is working on an ordinance to repeal the budget billing program and to implement an action plan to deal with overpaid accounts and to allow customers with underpaid account to make monthly installments.

Comments from Commissioners - None

Chairman's Report - None

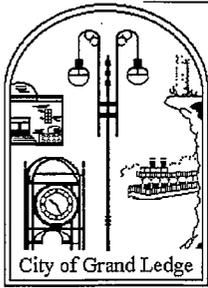
Adjournment

Ms. Malecki made a motion, seconded by Mr. Gute to adjourn the meeting at 8:30 p.m.

Submitted By:

Susan Stachowiak
Zoning Administrator

Jamie Malecki, Secretary
Planning Commissioner



CITY OF GRAND LEDGE

Zoning Administrator

Ph: (517) 627-2149
Fax: (517) 627-9796

Established 1893

319 Taylor St.
Grand Ledge, MI 48837
sstachowiak@grand-ledge.com

STAFF REPORT

TO: Planning Commission

FROM: Susan Stachowiak, Zoning Administrator

DATE: March 28, 2013

RE: Site Plan Review – New Parking Lot
Units 13 & 14, Ledges Commerce Park

This site plan prepared by Bergmann Associates dated March 15, 2013 is for a parking lot to provide additional parking for Dr. Smith's medical building located at 1045 Charlevoix Drive. This submittal is for the parking lot only. The future building shown on the drawing will be submitted under a separate site plan review application at the appropriate time. As of right now, there is no schedule for when the future building may be developed.

Attached is the review from the City Engineer. Reviews from the Public Service Director and Fire Dept. will be forwarded to the Commission as soon as they are received.

APPLICANT: Vicar, LLC
11640 Oneida Road
Grand Ledge, MI 48837
(517) 331-3369

ZONING: The subject parcel is zoned B-1, Highway Service which permits the future child care center.

PARCEL SIZE: .73 acres, 31945 square feet
Rectangular Shape

City of the Seven Islands

SITE DEVELOPMENT STANDARDS

Article XVI of the Zoning Ordinance mandates the applicable site development requirements for the B-1, Highway Service District. The dimensional requirements for the future child care center will be reviewed at the time it is submitted for site plan approval.

ZONING ON ADJACENT PARCELS

- N R-MD, Single Family Residential
- S B-1, Highway Service
- E B-1, Highway Service
- W B-1, Highway Service

LAND USE ON ADJACENT PARCELS

- N Single Family Residential (Candlewood Estates)
- S Taco Bell, Multi-Tenant Commercial Building
- E Office Building
- W Vacant

LANDSCAPING

A landscape plan is included as part of the site plan. The following planting plan specification requirements of the Zoning Ordinance have or have not been provided on the plan:

- I. Minimum scale of 1"=50'yes
- II. Existing and proposed contours not to exceed 2'yes
- III. Proposed landscape materials.....yes
- IV. Berm cross section.....n/a
- V. Construction details.....yes
- VI. Planting/Stacking details.....yes
- VII. Tree Survey.....yes

The Zoning Ordinance requires:

- 1. One tree shall for each 3,000 square feet of paved driveway and parking lot surface.**

The tree planting requirement for 25,000 square feet of paving and parking is:
 $25,000/3,000 = 9$ trees. Petitioner has shown 18 trees including the proposed trees along Charlevoix Drive.

- 2. Four shrubs, with a minimum starting size of 24" in height and spread, for each 20 linear feet of landscape buffer area along the Charlevoix Drive road frontage, excluding driveways.**

Site Plan Review – Units 13 & 14, Ledges Commerce Park

March 28, 2013

Page 3

19 shrubs are required for the proposed parking lot site and 19 shrubs are shown on the plan. All required shrubs must comply with the minimum starting size

- 3. One tree with a minimum starting size of 3.5 caliper inches for each 30 linear feet of landscape buffer area along the Charlevoix Drive road frontage, excluding driveways.**

3 trees are required for the landscape buffer along the Charlevoix Drive road frontage and 4 trees are shown on the plan.

The landscape plan demonstrates compliance with all requirements of the Zoning Ordinance.

STREETS AND ACCESS

As noted by the City Engineer, driveway cross connections, access management, or construction to neighboring parking lots must include written access agreements with each land owner. A copy of these agreement documents must be on file with the City and the Eaton County Registrar of Deeds prior to construction.

As also noted by the City Engineer, the development is planning to create a driveway approximately 120 feet west of the 1005 Charlevoix Building. This location aligns with the current curb cut on the south side of Charlevoix Drive that serves Flagstar Bank / Taco Bell. Minimum driveway spacing requirements are based on posted speed limits. Charlevoix Drive is posted at 25 MPH. Article 220-74.B.2.d indicates a 125 foot spacing for a posted speed of 30 MPH or less. It is the City Engineer's recommendation to waive the additional 5 foot of spacing required by the ordinance for this case.

PARKING

Numerical Parking Space Requirements

Since the only project that is being submitted for approval at this time is a stand along parking lot, there are no numerical parking requirements. 3 barrier-free parking spaces, however, will be required.

Parking Lot Dimensional Requirements

The proposed parking lot complies with all dimensional requirements contained in Section 220-58 of the Zoning Ordinance.

Parking Area Lighting

A photometric plan demonstrating compliance with all requirements of Section 220-70 of the Zoning Ordinance must be submitted.

WASTE RECEPTACLES

Section 220-76 of the Zoning Ordinance mandates the requirements for waste receptacles. A future location for a waste receptacle is shown on the site plan. The waste receptacle enclosure will likely not be installed until the child care center is developed at some point in the future.

UTILITIES

Please refer to the review from the City Engineer, Jim Foster dated March 27, 2013 and Public Services Director, Larry LaHaie dated February , 2013.

MISCELLANEOUS

A 5' wide sidewalk as required is shown along the entire Charlevoix Drive road frontage.

STAFF RECOMMENDATION

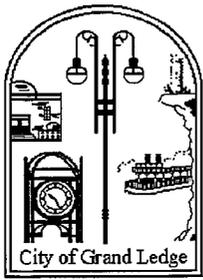
The following motion is offered for the Commission's consideration:

"I move that the City of Grand Ledge Planning Commission approve the site plan prepared by Bergmann Associates, dated March 15, 2013 for a parking lot located on Units 13 & 14, Ledges Commerce Park, subject to compliance with the applicable items contained in this staff report and the following:

1. Compliance with the applicable items contained in the City Engineer's letter dated March 27, 2013 and the Public Service Director's letter dated February , 2013; and
2. Compliance with the items contained in the Grand Ledge Area Fire Department's letter dated February , 2013.

Respectfully Submitted,

Susan Stachowiak
Zoning Administrator



CITY OF GRAND LEDGE

Established 1893

Zoning Administrator

319 Taylor St.
Grand Ledge, MI 48837

Ph: (517) 627-6469
Fax: (517) 627-6788

sstachowiak@grand-ledge.com

Site Plan Review Application

For Office Use Only

Fee Paid _____

Date Received: _____

Applicant(s) Vicar, LLC

Address 11640 Oneida Road
Grand Ledge, MI 48837

Daytime Phone (517) 331-3369

Evening Phone (517) 627-5347

Interest in Property (check one)

Owner

Represent Owner

Other _____

Option to buy

Lessee

Complete address of property requested to be reviewed _____

Units 13 and 14, Grand Ledges Park Condominium, Charlevoix Drive

Owner Name(s) Vicar, LLC

Address 11640 Oneida Road
Grand Ledge, MI 48837

Daytime Phone (517) 331-3369

Evening Phone (517) 627-5347

Legal Description (indicate attached if needed): _____

See attached survey

Lot size: Width 234.74' Length 272.22' Area 1.47 acres

Current zoning: B-1, Highway Service

Proposed use of property _____

Parking lot with future building whose use is yet to be determined.

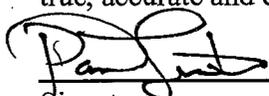
Estimate the following:

- General traffic volume N/A
- Total population increase N/A
- Population per acre N/A
- Hours of operation Monday-Friday; 7:00 a.m. - 7:00 p.m.
- Total number of employees N/A
- Total building area proposed Approximately 12,000 sq.ft. (future)
- Parking spaces 73 spaces proposed

Petition must include photographs of the property, copies of any other required permits and a site plan, as follows:

- Drawn to a scale of at least 1"=100'
- Existing and proposed structures (buildings, trash receptacles, landscaping, etc.)
- Existing and proposed parking areas and driveways
- Existing and proposed roads, easements and other access points
- Flood plain elevations, if applicable
- Zoning classifications of all abutting land within 300 feet

I stipulate and understand the site plan review, if approved by the City of Grand Ledge, does not guarantee I may proceed with the proposed development. I understand there may be additional permits required to meet trade codes and other governmental requirements, and I understand the City of Grand Ledge does not have any power or authority over these additional permits. I certify the statements made and the information provided in this site plan review application are true, accurate and complete.

 FOR DR. DAVID J. SMITH 3/18/13
Signature _____ Date _____

Required Reviews

	Approve Petition	Deny Petition	Initials
<input checked="" type="checkbox"/> Zoning Administrator	<input type="checkbox"/>	<input type="checkbox"/>	_____
<input type="checkbox"/> Planning Commission	<input type="checkbox"/>	<input type="checkbox"/>	_____
<input type="checkbox"/> Building Official	<input type="checkbox"/>	<input type="checkbox"/>	_____

our people and our passion in every project

 **Bergmann**
associates
architects // engineers // planners

March 18, 2013

Ms. Sue Stachowiak
Zoning Administrator
City of Grand Ledge
200 East Jefferson Street
Grand Ledge, MI 48837

RE: Site Plan Review Application
Shared Parking Lot - Units 13 and 14, Ledges Commerce Park, Charlevoix Drive

Dear Sue:

Please find enclosed the following related to the proposed shared parking lot for Units 13 and 14 of the Ledges Commerce Park on Charlevoix Drive

1. Completed Site Plan Review Application;
2. A check made out to the City of Grand Ledge in the amount of \$650 for the Site Plan Review application;
3. Twenty (20) folded, partial plan sets (Soil Erosion drawings are omitted and will be submitted to the Eaton County Drain Commissioner's office under separate cover).

Please note that this submittal is for the parking lot only. The future building shown on the drawing will be submitted under a separate Site Plan Review application at the appropriate time. As of right now, there is no schedule for when the future building may be developed.

We are anticipating being on the agenda for the April 4th meeting. If that presents a problem and the Planning Commission is unable to accommodate us, please let me know.

Plans will also be sent to Jim Foster at Ziemnick Foster Engineering for his review.

Should you have any questions about the enclosed material or if you need any additional information, feel free to contact me.

Sincerely,

BERGMANN ASSOCIATES

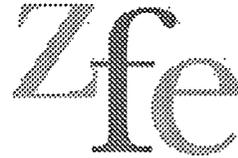


Paul Furtaw, PE
Project Engineer
Enclosure

cc: Rick Hoekstra, Hoekstra Construction Company (via e-mail)
Charles Popovich, Bergmann (via e-mail)



ZIEMNICK FOSTER ENGINEERING, LLC
 12350 Oneida Road
 Grand Ledge, MI 48837
 517.627.8086
 www.zfengineering.com



3/27/2013

Re: Dr. Smith Day Care Building Parking Lot
 Project No: 13009

Ms. Susan Stachowiak
 Zoning Administrator
 City of Grand Ledge
 200 E. Jefferson Street
 Grand Ledge, MI 48837

Dear Susan:

As requested, Ziemnick Foster Engineering, LLC (ZFE) has performed a site plan review for a parking lot located on Unit 14 of Ledges Commerce Park. A future 12,000 square foot building is being show on Unit 13. Our review was of plans submitted by Bergmann Associates dated March 15, 2013. We offer the following comments:

The proposed project consists of the construction of a 25,000 square foot parking lot adjacent to a future Day Care center. The parking lot also shown to be constructed across the easterly property line to abut a proposed sidewalk along the west side of the Lansing Ophthalmology building (1005 Charlevoix Drive). Interconnection of parking lots is also being indicated for the subject property, 1005 Charlevoix Building, and the new Sparrow Medical Building currently under construction.

GENERAL REGULATIONS

ZONING REQUIREMENTS	MINIMUM SIZE LOT PER UNIT		MAXIMUM HEIGHT OF STRUCTURES		MINIMUM YARD SETBACKS (FEET)				MIN FLOOR AREA (SF)	MIN GROUND FLOOR AREA (SF)	MAX % LOT AREA COVERED BY ALL BUILDINGS
	AREA	WIDTH	IN STORIES	IN FEET	FRONT	LEAST ONE	TOTAL OF TWO	REAR			
B-1	--	100'	2	25	30	10	30	20	--	--	--
PROVIDED INFORMATION											
B-1	63,900	234.74			30	13.7	92.2				

1. Driveway cross connections, access management, or construction to neighboring parking lots must include written access agreements with each land owner. A copy of these agreement documents must be on file with the City and the Eaton County Registrar of Deeds prior to construction.

LAYOUT

1. The development is planning to create a driveway approximately 120 feet west of the 1005 Charlevoix Building. This location aligns with a the current curb cut on the south side of Charlevoix Drive that serves Flagstar Bank / Taco Bell. Minimum driveway spacing requirements are based on posted speed limits. Charlevoix Drive is posted at 25 MPH. Article 220-74.B.2.d indicates a 125 foot spacing for a posted speed of 30 MPH or less. It would be our recommendation to waive the additional 5 foot of spacing required by the ordinance for this case.
2. Parking for the day care development has been reviewed using a parking ratio of 2 plus 1 for each caregiver or teacher, plus off-street loading space for children entering and leaving the facility. No information regarding staffing was provided on the plans and therefore calculations were not completed in the review. A total of 73 spaces are shown on the plan. The American with Disabilities Act (ADA) requirements for 73 spaces requires 3 barrier free spaces. No barrier free spaces are indicated. No off-street loading space is indicated. Clarifications on parking requirements should be resubmitted and included in revised drawings.
3. Aisle widths and parking stalls meet the minimum geometric requirements.

UTILITIES

1. Storm sewer is being shown to connect to an existing storm stub left behind the curb. Petitioner has not included storm sewer calculations for review. Please provide calculations and resubmit for further review.
2. Utilities to service the future building were not included in the plans and therefore not reviewed.
3. A site lighting photometric plan has not been provided for review. Please provide a photometric plan and resubmit for further review.
4. Historical utility's are shown on Sheet 13. It would be our opinion that these utilities be shown on the utility plan for reference to the selected Contractor. Any utility that is

found during construction should be identified, located, and marked on the as-built record drawing supplied to the City.

LANDSCAPING

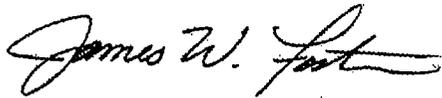
1. The tree planting requirement for 25,000 square feet of paving and parking is: $25,000 / 3,000 = 9$ trees. Petitioner has shown 18 trees including the proposed trees along Charlevoix Drive.

ADDITIONAL COMMENTS

1. Please provide ZFE with an electronic set (AutoCAD and PDF's) of the final site plan drawings and as-built drawings for system records and utility mapping updates.

If you have any questions, please contact our office. Thank you.

Sincerely,
ZIEMNICK FOSTER ENGINEERING, LLC

A handwritten signature in black ink, appearing to read "James W. Foster". The signature is fluid and cursive, with a long horizontal stroke at the end.

James W. Foster, P.E.

Delivered by: via Email (PDF)

PRELIMINARY LAND DEVELOPMENT PLANS FOR PROPOSED

David J. Smith, MD Proposed Parking Lot

Charlevoix Drive
City of Grand Ledge, Michigan

Project:
**David J. Smith, MD
Medical Center Phase 2**

Charlevoix Drive
City of Grand Ledge
Eaton County, MI

Owner:
Vicar, LLC
11640 Oneida Road
Grand Ledge, MI 48837
(517) 331-3369



**Bergmann
associates**
architects // engineers // planners

1427 West Saginaw Street, Suite 200
East Lansing, Michigan 48823

office: 517.272.9835
fax: 517.272.9836

www.bergmannpc.com

PROJECT CONTACTS

OWNER
VICAR, LLC
DAVID J. SMITH, MD
11640 ONEIDA ROAD
GRAND LEDGE, MI 48837
(517) 331-3369

DEVELOPER/CONSTRUCTION MANAGER
THE HOEKSTRA COMPANY
RICK HOEKSTRA
5448 JESSALEE CIRCLE
EAST LANSING, MI 48823
(517) 347-7790

CIVIL ENGINEER
BERGMANN ASSOCIATES
1427 WEST SAGINAW STREET, SUITE 200
EAST LANSING, MI 48823
PAUL FURTAW, PE
(517) 272-9835

UTILITY AND JURISDICTIONAL CONTACTS
CITY OF GRAND LEDGE
200 EAST JEFFERSON STREET
GRAND LEDGE, MI 48837
(517) 627-2149



SITE LOCATION MAP
NOT TO SCALE

SHEET INDEX

DRAWING NO.	TITLE
■ C000	COVER SHEET
■	TOPOGRAPHIC SURVEY
■ C080	DEMOLITION PLAN
■	SHEET 13 - LEDGES COMMERCE PARK (FTCH, 1995)
■ C100	OVERALL SITE PLAN
■ C101	SITE PLAN
■ C110	UTILITY PLAN
■ C120	GRADING PLAN
□ C140	SOIL EROSION AND SEDIMENTATION CONTROL PLAN
□ C141	SOIL EROSION AND SEDIMENTATION CONTROL DETAILS AND NOTES
■ C500	MISCELLANEOUS DETAILS
■ L100	LANDSCAPE PLAN

LEGEND

- INCLUDED WITH THIS SUBMISSION
- NOT INCLUDED WITH THIS SUBMISSION

REVISIONS				
NO.	DATE	DESCRIPTION	REV.	CK'D
	3/15/2013	SITE PLAN REVIEW		

COVER SHEET

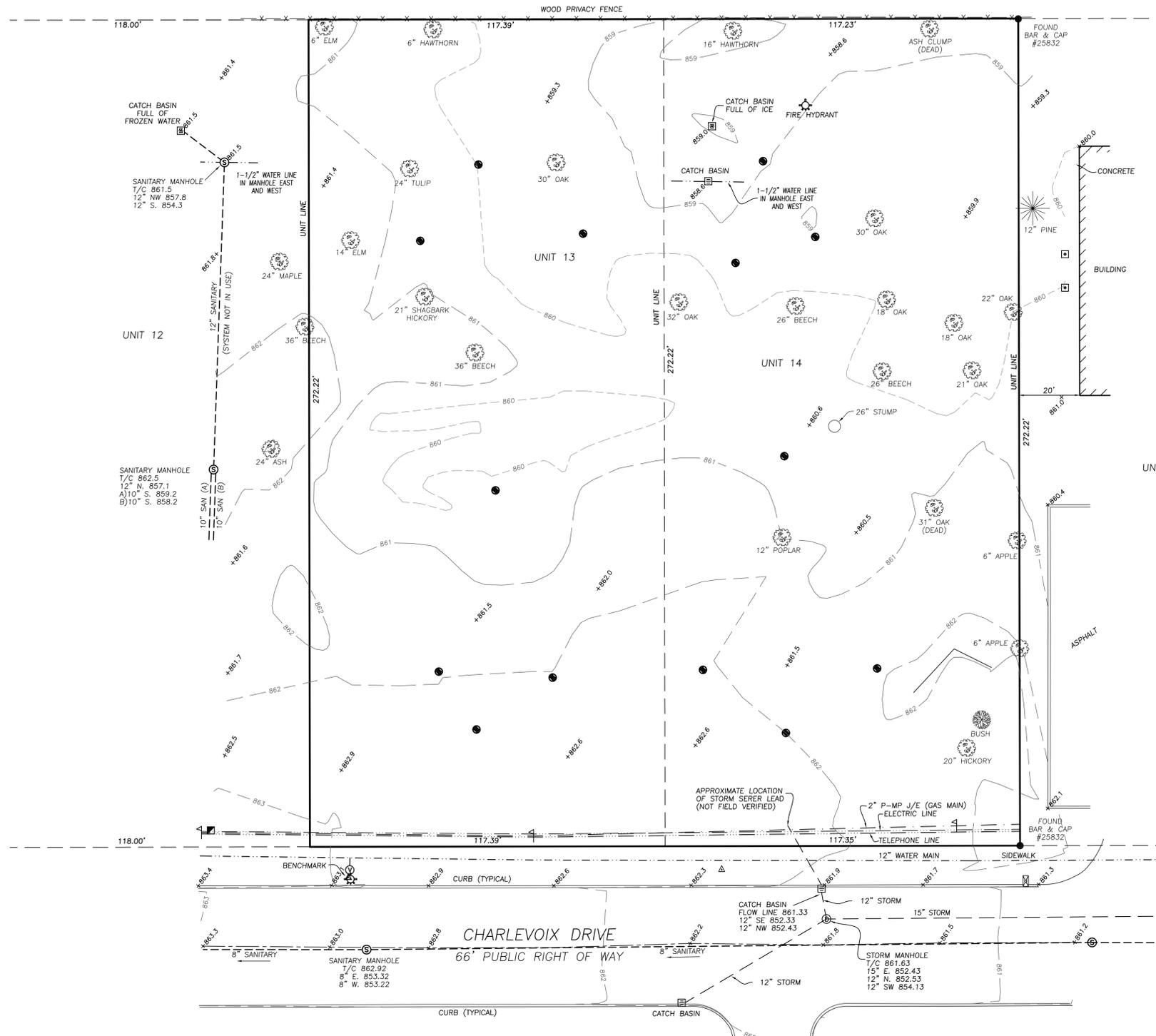
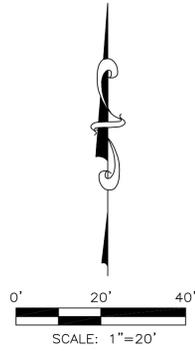
Project Manager:
C. POPOVICH
Designed by:
A. NODARSE
Drawn by:
A. NODARSE
Checked by:
P. FURTAW
Date Issued:
MARCH 15, 2013
Scale:
AS SHOWN

Project Number: **9133.00** File Name: **C000.DWG**

Drawing Number:

C000

LEDGES COMMERCE PARK CONDOMINIUM
CITY OF GRAND LEDGE,
EATON COUNTY, MICHIGAN



SNOW NOTE

Due to adverse weather conditions and excessive snow cover, some surface improvements may be approximate. Every effort was made to locate any surface features that may have been covered by snow.

UNDERGROUND UTILITY NOTE:

NOTE: THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES OTHER THAN THE STRUCTURE INVENTORY SHOWN HEREON.

FLOOD NOTE:

By graphic plotting only, this property is in Zone X of the Flood Insurance Rate Map, Community Panel No. 26045C0201E, which bears an effective date of November 26, 2010 and is not in a Special Flood Hazard Area. By telephone call dated February 25, 2013 to the National Flood Insurance Program (800-638-6620) we have learned this community does currently participate in the program. No field surveying was performed to determine this zone and an elevation certificate may be needed to verify this determination or apply for a variance from the Federal Emergency Management Agency.

LEGEND:

- | | | |
|----------------------|-------------------------------|---------------------|
| Power Pole | Flag Pole | Storm Manhole |
| Power Pole w/Light | Sign (As Noted) | Storm Catchbasin |
| Light Pole | Well Head | Deciduous Tree |
| Telephone Pole | Satellite Dish | Coniferous Tree |
| Guy Wire | Tower | Sanitary Manhole |
| Transformer | Water Valve | Sanitary Clean Out |
| Electric Manhole | Fire Hydrant | Gas Valve |
| Telephone Manhole | Water Manhole | Gas Manhole |
| Telephone Pedestal | Water Meter Pit | Gas Meter |
| Electric Meter | Water Meter | Gas Marker |
| Cable Box | Indicates Handicapped Parking | Section Corner |
| Air Conditioner Unit | Soil Boring | Set 5/8" B&C #51489 |
| | | Fd. Property Corner |
| | | Monitoring Well |

ABBREVIATIONS:

DIAM. = DIAMETER
FD. = FOUND
SEC. = SECTION
NE = NORTHEAST
NW = NORTHWEST
N = NORTH
BLDG. = BUILDING
VOL. = VOLUME

BENCHMARK NOTE:

TOP OF NORTHWEST FLANGE BOLT ON HYDRANT LOCATED 140 FEET WEST OF TORCH DRIVE AND 2 FEET NORTH OF CHARLEVOIX DRIVE. ELEVATION: 864.44 NAVD 88 DATUM.

MAPPING CERTIFICATION:

I HEREBY CERTIFY TO THE PARTIES NAMED HEREON THAT THIS MAP HAS BEEN DEVELOPED FROM SURVEY DATA COLLECTED, AND THAT ACCURACY STANDARDS ARE IN ACCORDANCE WITH STANDARDS GENERALLY ACCEPTED BY PROFESSIONAL SURVEYORS IN THE STATE OF MICHIGAN. THIS MAP CORRECTLY REPRESENTS THE EXISTING CONDITIONS AT THE TIME THE SURVEY WAS COMPLETED.



David J. VanDenBerghe
DAVID J. VANDENBERGHE, P.S. #51489
DATED: FEB. 25, 2013

Registration No. 51489
Within the State of Michigan

LEGAL DESCRIPTION:

Units 13 and 14, Ledges Commerce Park Condominium, City of Grand Ledge, Eaton County, Michigan, according to the Master Deed recorded in Liber 2377, Page 677, Eaton County Records, being designated as Replat Number 11 of Eaton County Condominium Subdivision Plan No. 30, together with rights in general common elements and limited common elements as set forth in the above Master Deed and amended thereto, and pursuant to Act 59 of the Public Acts of 1978, as amended.

SURVEY PREPARED BY:



GEODETIC DESIGNS, INC.
2300 N. GRAND RIVER AVE.
LANSING, MI 48906
PHONE: (517) 908-0008
FAX: (517) 908-0009
WWW.GEODETICDESIGNS.COM

MARK	REVISION	BY	AP/V/D
RICK HOEKSTRA TOPOGRAPHIC SURVEY			
UNITS 13 AND 14 LEDGES COMMERCE PARK CONDOMINIUM CITY OF GRAND LEDGE, EATON COUNTY, MICHIGAN			
SCALE:	1" = 20'	CHKD./AP'VD:	DJV
DATE:	FEBRUARY 21, 2013		
DWN. BY:	RJW		
CHKD. BY:	DJV	GDI J.N.:	S028-2013

DEMOLITION NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSING IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES, OF ALL STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PARKING, DRIVES, DRAINAGE, STRUCTURES, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE SPECIFICATIONS AND RECOMMENDATIONS OF A LICENSED GEOTECHNICAL ENGINEER.
2. ANY ASBESTOS REMOVAL MUST BE DONE BY A CERTIFIED ASBESTOS REMOVAL CONTRACTOR. CONTAMINATED MATERIAL MUST BE DISPOSED OF ACCORDING TO ALL APPLICABLE REGULATIONS. CONTRACTOR TO SUBMIT ALL NECESSARY CERTIFICATION MATERIAL AND DISPOSAL INFORMATION TO THE OWNER. COORDINATE ALL WORK WITH THE OWNER.
3. UNLESS OTHERWISE NOTED, ALL MATERIAL SHALL BE REMOVED AND DISPOSED OF OFF SITE. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL.
4. THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY'S FORCES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
5. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR ONSITE LOCATIONS OF EXISTING UTILITIES.
6. ALL EXISTING SEWERS, PIPING AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE PROCEEDING WITH THE WORK. UTILITIES DETERMINED TO BE ABANDONED AND LEFT IN PLACE SHALL BE GROUTED.
7. ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC CABLE AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE. CONTRACTOR SHALL PAY CLOSE ATTENTION TO EXISTING UTILITIES WITHIN THE ROAD RIGHT OF WAY DURING CONSTRUCTION.
8. CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC., TO THE BEST PRACTICES AND APPROVED BY CONSTRUCTION MANAGER.
9. CONTINUOUS ACCESS SHALL BE MAINTAINED FOR THE SURROUNDING PROPERTIES AT ALL TIMES DURING DEMOLITION OF THE EXISTING FACILITIES.
10. PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED.
11. CONTRACTOR MAY LIMIT SAW-CUT AND PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR.
12. DAMAGE TO ALL EXISTING CONDITIONS TO REMAIN WILL BE REPLACED AT CONTRACTOR'S EXPENSE.

KEY NOTES

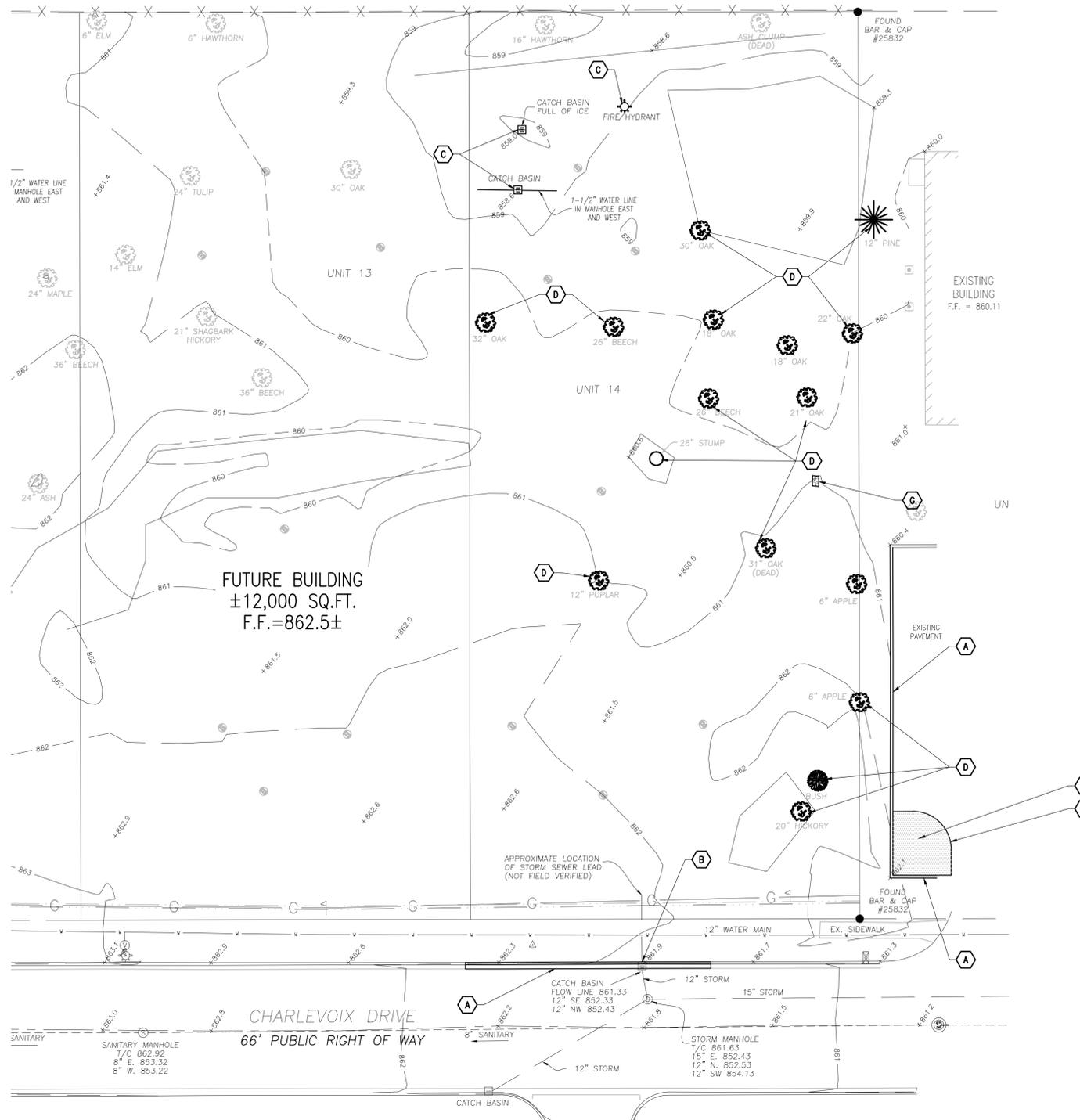
- A. SAWCUT AND REMOVE EXISTING CONCRETE CURBS AND GUTTER AT NEAREST JOINT
- B. REMOVE AND REPLACE EXISTING CATCH BASIN FRAME AND COVER AND SET TO FINISHED GRADE (SEE GRADING PLAN AND UTILITY PLAN)
- C. REMOVE EXISTING CATCH BASIN
- D. REMOVE EXISTING TREE (TYP.)
- E. THESE UTILITY STRUCTURES ARE PRESUMED TO BE ABANDONED IN PLACE AND LEFT OVER FROM THE 7TH DAY ADJACENT CHAMPROUND. CONTRACTOR TO CONFIRM THAT THE UTILITY SERVICES TO THESE STRUCTURES HAVE BEEN PROPERLY SHUT-OFF AND/OR ABANDONED. SEE FOLLOWING SHEET FOR REFERENCE.
- F. REMOVE EXISTING PAVEMENT
- G. REMOVE EXISTING CONCRETE

DEMOLITION LEGEND

-  REMOVE EXISTING CONCRETE
-  REMOVE EXISTING PAVEMENT
-  KEY NOTES

BENCH MARKS:

Top of Northwest flange bolt on hydrant located 140 feet west of Torch Drive and 2 feet North of Charlevoix Drive. Elevation: 864.44 NAVD 88 datum.



Project:
David J. Smith, MD
Medical Center Phase 2
 Charlevoix Drive
 City of Grand Ledge
 Eaton County, MI

Owner:
Vicar, LLC
 11640 Oneida Road
 Grand Ledge, MI 48837
 (517) 331-3369



1427 West Saginaw Street, Suite 200
 East Lansing, Michigan 48823

office: 517.272.9835
 fax: 517.272.9836

www.bergmannpc.com

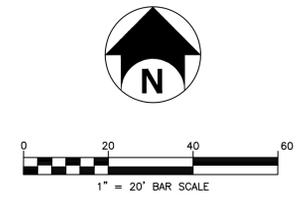
REVISIONS			
NO.	DATE	DESCRIPTION	REV. CK'D
1	3/15/2013	SITE PLAN REVIEW	

DEMOLITION PLAN

Project Manager:
G. POPOVICH
 Designed by:
A. NODARSE
 Drawn by:
A. NODARSE
 Checked by:
P. FURTAW
 Date Issued:
 MARCH 15, 2013
 Scale:
1"=20'

Project Number: File Name:
C080.dwg

Drawing Number:
C080



Know what's below.
Call before you dig.

BENCH MARK ELEVATION: 863.68
LAG BOLT N. SIDE POWER POLE ± 70'
S. CENTERLINE M-43 AND ± 25' E. OF
COVENANT REFORMED CHURCH DRIVE.

BENCH MARK ELEVATION: 858.93
LAG BOLT IN S. SIDE OF 4X4 FENCE
POST ± 14' E. OF FENCE TO N. AT
S.E. CORN. OF CANDLEWOOD EST. #1

BENCH MARK ELEVATION: 866.74
RAILROAD SPIKE W. SIDE POWER POLE
± 70' S. CENTERLINE M-43 IN FRONT
OF WENDY'S

RECORD DRAWING
CONSTRUCTED BY: BARNHART AND SONS
INSPECTED BY: F.T.C. & H.
DATE: SUMMER OF 1995

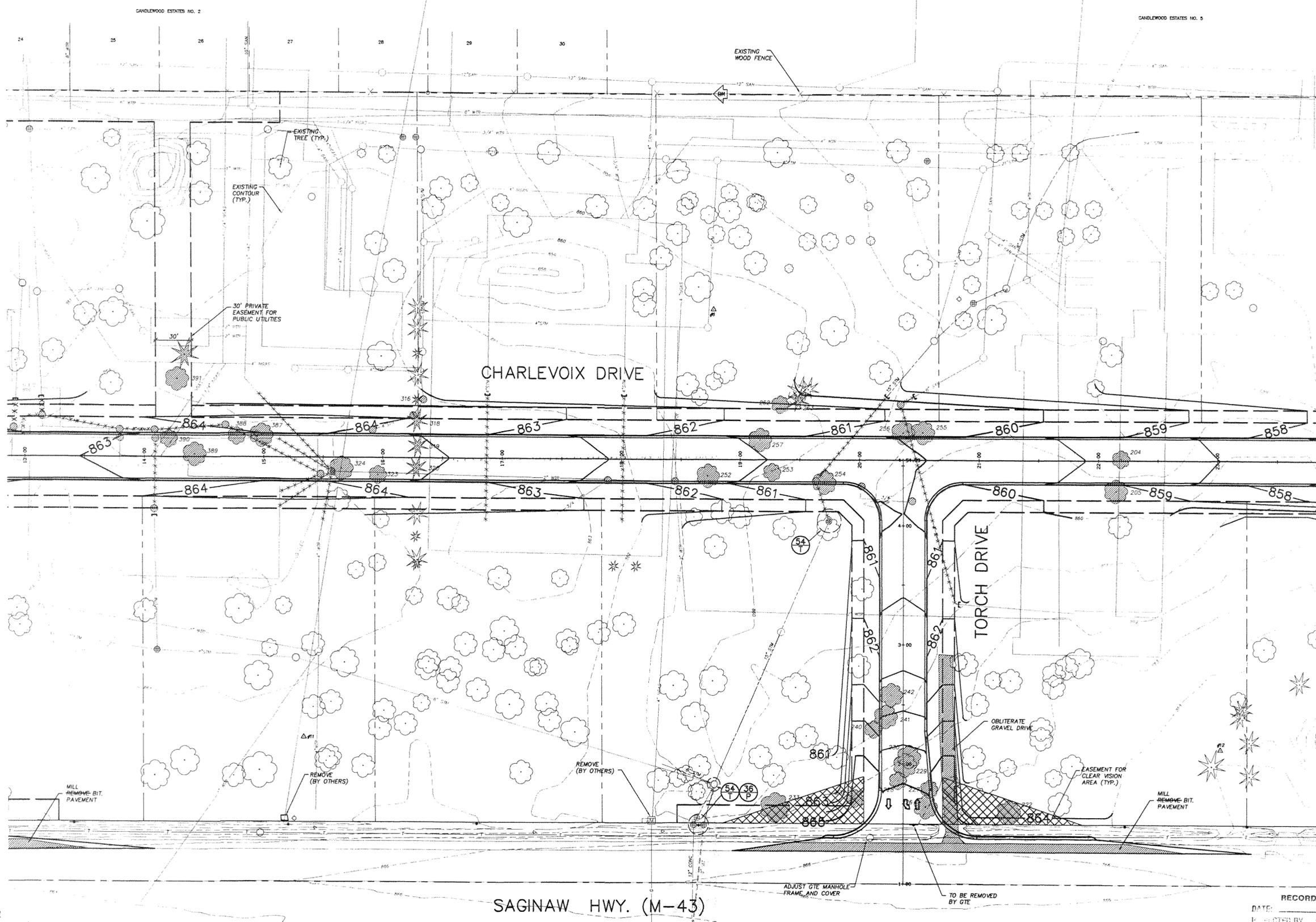
DATE	Drawn By	Checked By	Date
RECORD DRAWING	By: JRL	By: WAU	3-16-95
NO.	RECORD DRAWING	REVISIONS	

fishbeck, thompson, carr & huber
engineers • scientists • architects
Ada • Lansing
Michigan



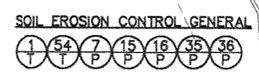
MAXCO
CITY OF GRAND LEDGE, EATON COUNTY, MICHIGAN
LEDGES COMMERCE PARK

PROJECT NO.
93166A
SHEET NO.
13
NOV 25 1997



NORTH
SCALE:
HORIZONTAL 1" = 40'
VERTICAL 1" = 4'

- LEGEND**
- TREE NUMBER AND TREE REMOVAL
 - TREE NUMBER AND RELOCATE BY OTHERS
 - REMOVE STRUCTURE
 - ***** REMOVE PIPELINE



NAME: N. 93166A ASBUILT 93166213 DATE: 02/16/96 TIME: 3:26 pm
 REMOVALS
 W. L. ANDERSON, P.E., F.W.B.S., S.D.B.L.O.C.
 E.R.D. & S.E. INC.

RECORD DRAWING
DATE: _____
CONSTRUCTED BY: _____



Project:
**David J. Smith, MD
 Medical Center Phase 2**
 Charlevoix Drive
 City of Grand Ledge
 Eaton County, MI

Owner:
Vicar, LLC
 11640 Oneida Road
 Grand Ledge, MI 48837
 (517) 331-3369

Tenant:



**Bergmann
 associates**
 architects // engineers // planners

1427 West Saginaw Street, Suite 200
 East Lansing, Michigan 48823

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REVISIONS				
NO.	DATE	DESCRIPTION	REV.	CK'D
1	3/15/2013	SITE PLAN REVIEW		

SITE DATA:
 ZONING: B-1, HIGHWAY SERVICE
 LAND USE: PROPOSED PARKING
 LOT AREA: 0.73 ACRES (31,945 SQ.FT.), (**)
 FRONTAGE: 117.35' PROPOSED (100' REQUIRED), (**)
 SETBACKS: BUILDING - 30' FRONT PROPOSED FOR FUTURE BUILDING (30' REQUIRED)
 13.7' SIDE PROPOSED FOR FUTURE BUILDING (10' REQUIRED)
 92.2' REAR PROPOSED FOR FUTURE BUILDING (20' REQUIRED)
 PARKING - 11.2' FRONT PROPOSED (10' REQUIRED)
 GROUND COVERAGE: 72.6% PROPOSED (FULL BUILD-OUT) (*), (**)
 (*) EQUATES TO A WEIGHTED 'C' VALUE OF 0.71

PARKING DATA:
 1 SPACE/200 SQ.FT. USABLE FLOOR AREA (**), (***) = 267 SPACES REQ'D.
 285 SPACES PROPOSED TOTAL
 75 SPACES THIS PROJECT

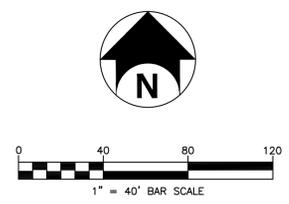
MEDICAL CENTER: 151 SPACES REQ'D.
 EX. BUILDING: 61 SPACES REQ'D.
 FUTURE BUILDING: 48 SPACES REQ'D.

(**) = THIS PROJECT ONLY (UNIT 14)
 (***) = USABLE FLOOR AREA CALCULATED AS 80% GROSS FLOOR AREA
 (****) = PARKING RATIO BASED ON AMENDED ORDINANCE

LEGEND:

	HMA STANDARD PAVEMENT SECTION
	CONCRETE
	NUMBER OF PARKING SPACES IN ROW
	KEY NOTES

BENCH MARKS:
 Top of Northwest flange bolt on hydrant
 located 140 feet west of Torch Drive and
 2 feet North of Charlevoix Drive.
 Elevation: 864.44 NAVD 88 datum.



**OVERALL
 SITE PLAN**

Project Manager:
C. POPOVICH
 Designed by:
A. NODARSE
 Drawn by:
A. NODARSE
 Checked by:
P. FURTAW
 Date Issued:
MARCH 15, 2013
 Scale:
1"=40'

Project Number: File Name:
C100.dwg

Drawing Number:
C100

KEY NOTES:

- HMA PAVING (TYP.)
- CONCRETE CURB AND GUTTER (TYP.)
- SIDEWALK (TYP.)
- BARRIER FREE RAMP (TYP.)
- ADA DETECTABLE WARNING DEVICE (TYP.)
- THICKENED EDGE WALK (TYP.)
- CONCRETE LIGHT POLE BASE (APPROXIMATE LOCATION SHOWN. COORDINATE EXACT LOCATION WITH ELECTRICAL DRAWINGS). ALL LIGHTS SHALL BE SHIELDED TO REDUCE GLARE AND SHALL BE ARRANGED AS TO REFLECT LIGHTS AWAY FROM ALL ADJACENT RESIDENTIAL PROPERTIES. ALL LIGHTING SHALL BE DIRECTED TOWARD AND CONFINED TO THE GROUND AREA OF LANS OR PARKING LOTS. PARKING LOT LIGHTING SHALL NOT EXCEED AN INTENSITY OF FIVE (5) FOOTCANDLES, NOR SHALL IT BE LESS THAN 1.5 FOOTCANDLES.
- FUTURE CONCRETE PAD AND DUMPSTER ENCLOSURE

GENERAL NOTES:

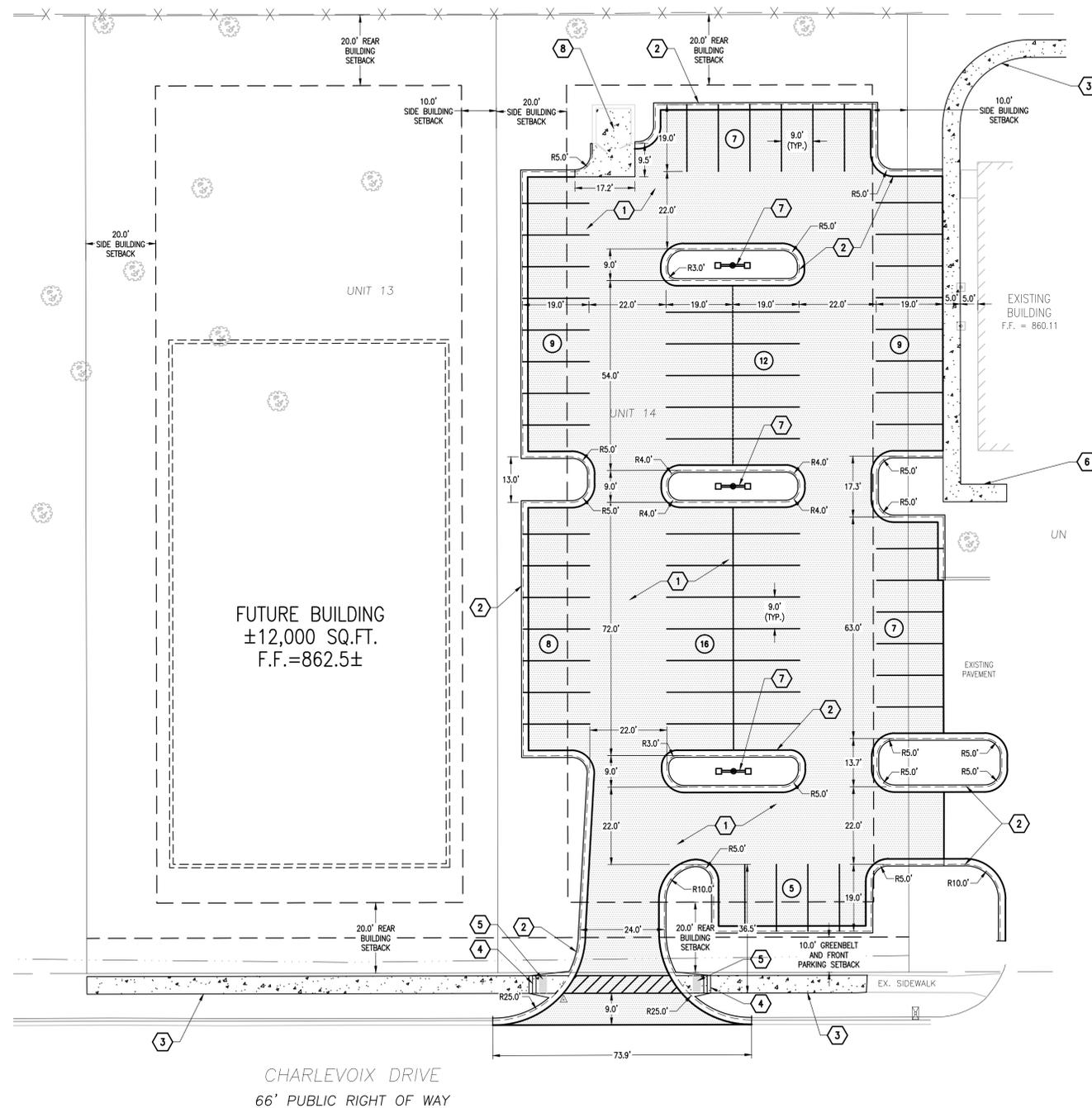
- THE UNDERGROUND STRUCTURES AND UTILITIES SHOWN ON THESE PLANS HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORD MAPS, THEY ARE NOT CERTIFIED TO THE ACCURACY OF THEIR LOCATION AND/OR COMPLETENESS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION AND EXTENT OF ALL UNDERGROUND STRUCTURES AND UTILITIES PRIOR TO ANY DIGGING OR CONSTRUCTION ACTIVITIES IN THEIR VICINITY. THE CONTRACTOR SHALL HAVE ALL EXISTING UTILITIES FIELD STAKED BEFORE STARTING WORK.
- THE CONTRACTOR SHALL PERFORM ALL WORK IN COMPLIANCE WITH TITLE 29 OF FEDERAL REGULATIONS, PART 1926, SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION (OSHA).
- DRAINAGE ALONG ALL ROADS AND PRIVATE DRIVES SHALL BE KEPT CLEAN OF MUD, DEBRIS ETC. AT ALL TIMES.
- REFER TO ARCHITECTURAL DRAWINGS FOR PRECISE BUILDING DIMENSIONS.
- THE CONTRACTOR SHALL CONSULT THE OWNER BEFORE DEVIATING FROM THESE PLANS.
- IN ALL TRENCH EXCAVATIONS, CONTRACTOR MUST LAY THE TRENCH SIDE SLOPES BACK TO A SAFE SLOPE, USE A TRENCH SHIELD OR PROVIDE SHEETING AND BRACING.
- ALL EXISTING SURFACE APPURTENANCES (I.E. WATER VALVES, CATCH BASIN FRAMES AND GRATES, MANHOLE COVERS) WITHIN THE PROJECT LIMITS SHALL BE ADJUSTED TO FINISHED GRADE.
- AREAS DISTURBED OR DAMAGED AS PART OF THIS PROJECT'S CONSTRUCTION THAT ARE OUTSIDE OF THE PRIMARY WORK AREA SHALL BE RESTORED, AT THE CONTRACTOR'S EXPENSE, TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE.
- THE CONTRACTOR SHALL CALL "MISS DIG" AT 1-800-482-7171 AT LEAST 3 WORKING DAYS (EXCLUDING WEEKENDS AND HOLIDAYS) PRIOR TO CONSTRUCTION.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE APPLICABLE CODES, ORDINANCES, DESIGN STANDARDS AND STANDARD SPECIFICATIONS OF THE AGENCIES WHICH HAVE THE RESPONSIBILITY OF REVIEWING PLANS AND SPECIFICATIONS FOR CONSTRUCTION OF ALL ITEMS INCLUDED IN THESE PLANS.
- UNLESS SPECIFICALLY STATED, THE CONTRACTOR SHALL APPLY FOR AND OBTAIN ALL NECESSARY PERMITS AS REQUIRED FOR CONSTRUCTION OF THIS PROJECT PRIOR TO THE BEGINNING OF WORK.
- THE CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
- WHEN ANY EXISTING UTILITY REQUIRES ADJUSTMENT OR RELOCATION, THE CONTRACTOR SHALL NOTIFY THE PROPER UTILITY COMPANY AND COORDINATE THE WORK ACCORDINGLY. THERE SHALL BE NO CLAIM MADE BY THE CONTRACTOR FOR ANY COSTS CAUSED BY DELAYS IN CONSTRUCTION DUE TO THE ADJUSTMENT OR RELOCATION OF UTILITIES.
- THE CONTRACTOR IS TO VERIFY THAT THE PLANS AND SPECIFICATIONS THAT HE/SHE IS BUILDING FROM ARE THE VERY LATEST PLANS AND SPECIFICATIONS THAT HAVE BEEN APPROVED BY ALL APPLICABLE PERMIT-ISSUING AGENCIES AND THE OWNER. ALL ITEMS CONSTRUCTED BY THE CONTRACTOR PRIOR TO RECEIVING THE FINAL APPROVAL AND PERMITS HAVING TO BE ADJUSTED OR RE-DONE, SHALL BE DONE AT THE CONTRACTOR'S EXPENSE.
- SHOULD THE CONTRACTOR ENCOUNTER CONFLICT BETWEEN THESE PLANS AND SPECIFICATIONS, EITHER AMONG THEMSELVES OR WITH THE REQUIREMENTS OF ANY AND ALL REVIEWING AND PERMIT-ISSUING AGENCIES, HE/SHE SHALL SEEK CLARIFICATION IN WRITING FROM THE OWNER BEFORE COMMENCEMENT OF CONSTRUCTION. FAILURE TO DO SO SHALL BE AT THE SOLE EXPENSE TO THE CONTRACTOR.
- UNLESS OTHERWISE NOTED THE CONTRACTOR SHALL FURNISH AS-BUILT DRAWINGS INDICATING ALL CHANGES AND DEVIATIONS FROM APPROVED DRAWINGS.
- ALL SIGNS AND TRAFFIC CONTROL MEASURES DURING CONSTRUCTION AND MAINTENANCE ACTIVITIES SHALL BE CONSTRUCTED AND INSTALLED PER THE LATEST EDITION OF THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (M.M.U.T.C.D.).
- ALL INFRASTRUCTURE, BOTH PUBLIC AND PRIVATE, SHALL CONFORM WITH THE REQUIREMENTS OF THE GOVERNING MUNICIPALITY OR PUBLIC ENTITY WHERE APPLICABLE. NOTE THAT NOT ALL OF THE REQUIREMENTS ARE LISTED ON THESE PLANS AND/OR RELATED SPECIFICATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL APPLICABLE REQUIREMENTS ARE ADHERED TO.

LEGEND:

- HMA STANDARD PAVEMENT SECTION
- CONCRETE
- 18 NUMBER OF PARKING SPACES IN ROW
- 1 KEY NOTES

BENCH MARKS:

Top of Northwest flange bolt on hydrant located 140 feet West of Torch Drive and 2 feet North of Charlevoix Drive. Elevation: 864.44 NAVD 88 datum.



**David J. Smith, MD
Medical Center Phase 2**

Charlevoix Drive
City of Grand Ledge
Eaton County, MI

Vicar, LLC

11640 Oneida Road
Grand Ledge, MI 48837
(517) 331-3369



**Bergmann
associates**
architects // engineers // planners

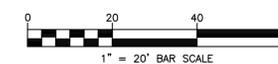
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REVISIONS			
NO.	DATE	DESCRIPTION	REV. CK'D
1	3/15/2013	SITE PLAN REVIEW	

SITE PLAN



**Know what's below.
Call before you dig.**

Project Manager:
G. POPOVICH
Designed by:
A. NODARSE
Drawn by:
A. NODARSE
Checked by:
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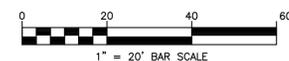
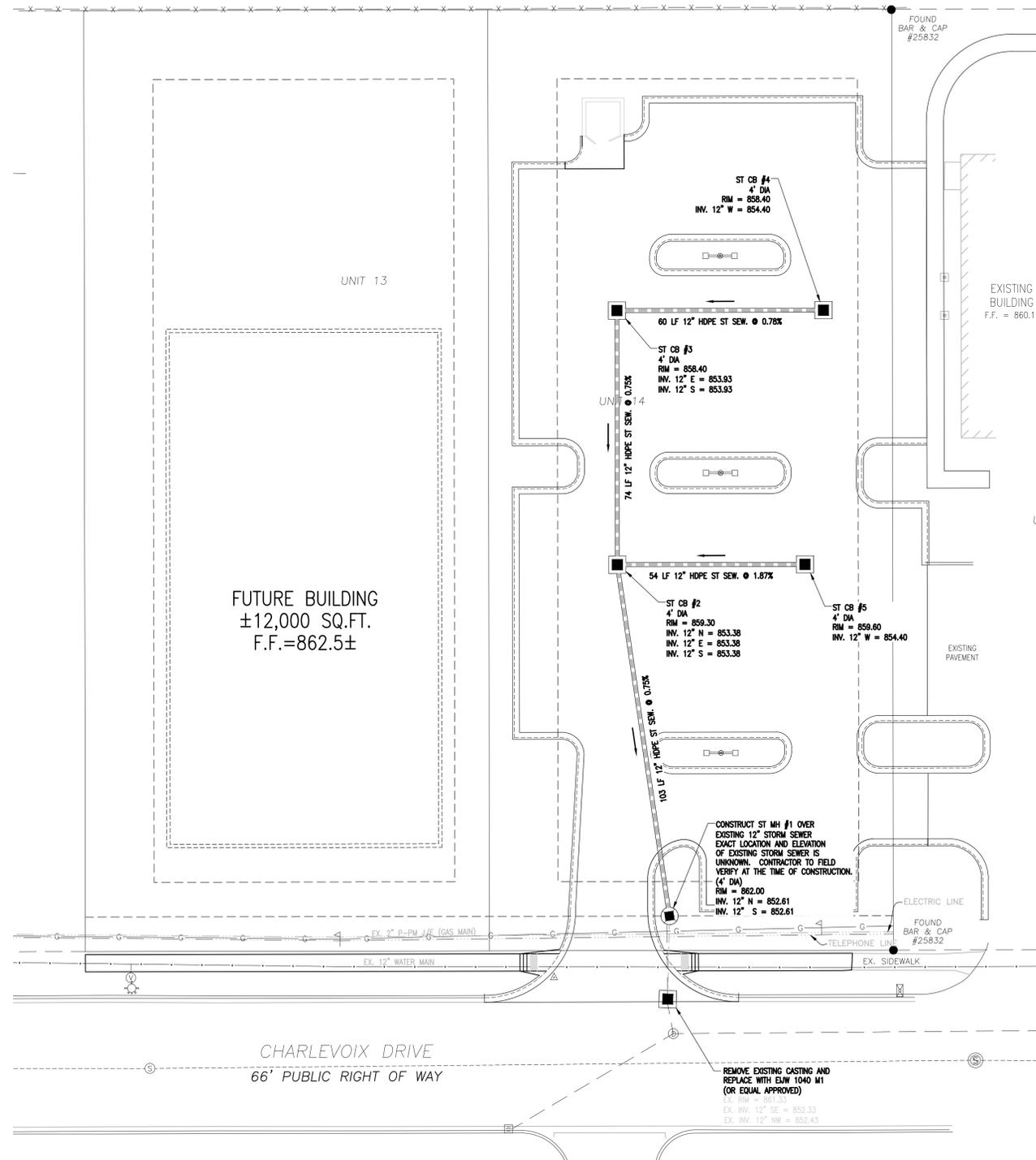
C101

UTILITY NOTES:

1. ALL WORKMANSHIP, MATERIALS, AND CONSTRUCTION PRACTICES SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF GRAND LEDGE OR THE AGENCY HAVING JURISDICTION OVER THE APPLICABLE UTILITY.
2. CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING UTILITY DURING CONSTRUCTION AT NO COST TO THE OWNER.
3. ALL FILL MATERIAL IS TO BE IN PLACE, AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
4. CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE.
5. IN THE EVENT OF A VERTICAL CONFLICT BETWEEN WATERLINES, SANITARY LINES, STORM LINES AND GAS LINES (EXISTING AND PROPOSED), THE CONTRACTOR SHALL NOTIFY THE ENGINEER AS SOON AS THE CONFLICT IS DISCOVERED.
6. TOPS OF EXISTING UTILITY STRUCTURES SHALL BE ADJUSTED AS NECESSARY TO BE FLUSH WITH PROPOSED PAVEMENT ELEVATIONS.
7. DRAWINGS DO NOT ATTEMPT TO SHOW ALL EXISTING UTILITIES.
8. EXISTING UTILITIES SHALL BE VERIFIED IN FIELD PRIOR TO INSTALLATION OF ANY NEW LINES.
9. CONTRACTOR IS RESPONSIBLE FOR COMPLYING TO THE CONSTRUCTION REQUIREMENTS OF THE UTILITY OWNERS.
10. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
11. CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
12. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS AND SPECIFICATIONS FOR ACTUAL LOCATION AND ELEVATIONS OF ALL UTILITY ENTRANCES TO INCLUDE SANITARY SEWER, LATERALS, DOMESTIC AND FIRE PROTECTION WATER SERVICE, ELECTRICAL, TELEPHONE, AND GAS SERVICE. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES, IN SUCH A MANNER AS TO AVOID CONFLICTS AND ASSURE PROPER DEPTHS ARE ACHIEVED AS WELL AS COORDINATING WITH CITY UTILITY REQUIREMENTS AS TO LOCATION AND SCHEDULING FOR TIE-INS/CONNECTIONS PRIOR TO CONNECTING TO EXISTING UTILITIES.
13. THE CONTRACTOR SHALL CONDUCT ALL REQUIRED TESTS TO THE SATISFACTION OF THE RESPECTIVE UTILITY COMPANIES AND THE OWNER'S INSPECTING AUTHORITIES.
14. CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST STANDARDS OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING, AND OTHER MEANS OF PROTECTION. THIS TO INCLUDE BUT NOT LIMITED TO ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE TO COMPLY WITH PERFORMANCE CRITERIA FOR OSHA.
15. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING PIPE SIZES AND INVERTS ELEVATIONS BEFORE ORDERING MANHOLE AND CATCH BASIN STRUCTURES.
16. ALL STORM DRAIN BELOW PAVED AREAS SHALL BE BACKFILLED WITH 100% GRANULAR MATERIAL (OR APPROVED OTHER) AND COMPACTED TO 95% OF ITS MAXIMUM UNIT WEIGHT (SEE TYPICAL TRENCH DETAILS INCLUDED IN THESE PLANS).
17. ALL RIM ELEVATIONS IN OUTLAWN AREAS ARE APPROXIMATE ONLY AND SHALL BE ADJUSTED BY THE CONTRACTOR AFTER FINAL GRADES ARE ESTABLISHED.
18. ALL WORK WITHIN THE RIGHTS-OF-WAY SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF GRAND LEDGE.
19. STORM SEWER 12" DIAMETER OR GREATER SHALL BE C-76 CLUI CONCRETE OR APPROVED EQUAL. STORM SEWER LESS THAN 12" DIAMETER SHALL BE HDPE OR APPROVED EQUAL.
20. A MINIMUM HORIZONTAL SEPARATION OF 10 FEET SHALL BE PROVIDED BETWEEN THE WATER MAINS AND ANY EXISTING OR PROPOSED SEWER MAIN. A MINIMUM VERTICAL SEPARATION OF 18 INCHES SHALL BE PROVIDED BETWEEN A PROPOSED WATER MAIN WHENEVER IT CROSSES A SEWER MAIN.

UTILITY LEGEND:

-  RFRAP
-  STORM SEWER
-  CATCH BASIN
-  STORM MANHOLE
-  HYDRANT
-  VALVE/CURB BOX
-  WATER SERVICE
-  SANITARY SEWER
-  CLEANOUT



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REVISIONS				
NO.	DATE	DESCRIPTION	REV.	CK'D
1	3/15/2013	SITE PLAN REVIEW		

UTILITY PLAN

Project Manager:
G. POPOVICH
Designed by:
A. NODARSE
Drawn by:
A. NODARSE
Checked by:
P. FURTAW
Date Issued:
MARCH 15, 2013
Scale:
1"=20'

Project Number: File Name:
C110.dwg

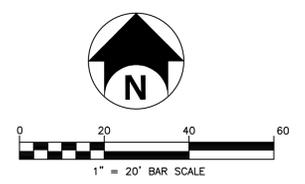
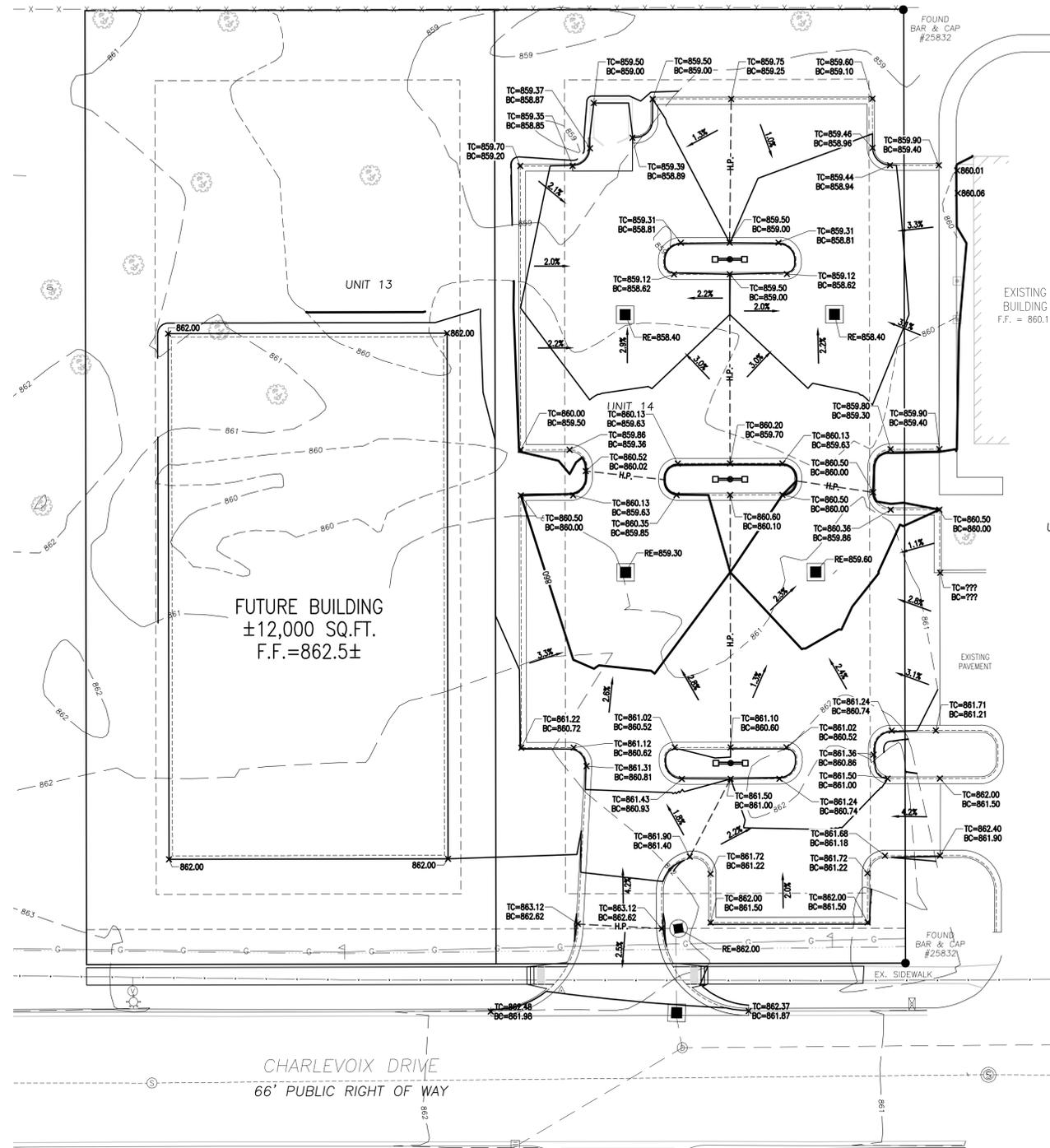
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C110

GRADING NOTES

- REFER TO EROSION AND SEDIMENT CONTROL PLAN FOR REQUIRED EROSION AND SEDIMENT CONTROL MEASURES.
- REMOVE AND STOCKPILE TOPSOIL AS DIRECTED BY THE CONSTRUCTION MANAGER. REPLACE TOPSOIL TO A MINIMUM 4" DEPTH. ALL DISTURBED AREAS TO BE SOODED AS DIRECTED BY THE CONSTRUCTION MANAGER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND REMOVAL OF TEMPORARY SEDIMENTATION CONTROLS. EROSION CONTROL MEASURES SHALL NOT BE REMOVED BEFORE VEGETATION HAS OCCURRED COMPLETELY.
- ALL SILT FENCE TO BE REPLACED WHENEVER THEY BECOME CLOGGED OR INOPERABLE AND SHALL BE REPLACED AT A MINIMUM OF EVERY 3 MONTHS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORATION OF TOPSOIL TO ALL DISTURBED AREAS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN EROSION CONTROL MEASURES AT ALL TIMES.
- SILT FENCE, JUTE MESH, AND/OR EROSION CONTROL BLANKETS WILL BE USED ON STEEP SLOPES AND WHEREVER NECESSARY TO CONTROL EROSION AND SILTATION OF EXISTING DRAINAGE SYSTEMS AS ORDERED BY THE ENGINEER OR SPECIFIED ON PLANS.
- THE CONTRACTOR SHALL DESIGNATE A MEMBER OF HIS/HER FIRM TO BE RESPONSIBLE TO MONITOR EROSION CONTROL, EROSION CONTROL STRUCTURES, TREE PROTECTION AND PRESERVATION THROUGHOUT CONSTRUCTION.
- ALL DISTURBED AREAS SHALL BE PROTECTED FROM EROSION EITHER BY MULCH OR TEMPORARY SEEDING WITHIN 2 WEEKS OF DISTURBANCE.
- ALL SITE GRADING MUST BE PERFORMED TO INSURE POSITIVE DRAINAGE ACROSS THE ENTIRE SITE, THROUGHOUT THE PERIOD OF CONSTRUCTION AND AFTER PROJECT COMPLETION.
- ALL SEDIMENTATION AND SOIL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED PRIOR TO THE COMMENCEMENT OF SITE GRADING AND MUST CONFORM TO PART 91 OF ACT 451 OF THE PUBLIC ACTS OF 1994 AS AMENDED. ALL APPLICABLE PERMITS SHALL BE OBTAINED BEFORE IMPLEMENTING THESE MEASURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE SEDIMENTATION AND SOIL EROSION CONTROL MEASURES THROUGHOUT CONSTRUCTION.
- IN GENERAL, EARTHWORK AND PAVEMENT CONSTRUCTION SHOULD BE PERFORMED IN ACCORDANCE WITH THE LATEST MOOT STANDARD SPECIFICATIONS FOR CONSTRUCTION UNLESS OTHERWISE NOTED.
- REMOVE ANY EXISTING TOPSOIL, ORGANIC SOILS, UNSUITABLE FILL, VEGETATION, TREES OR OTHER DELETERIOUS MATERIALS TO EXPOSE THE SUBGRADE SOIL. TREE ROOTS SHOULD BE COMPLETELY REMOVED.
- EXCAVATE TO THE DEPTH OF THE FINAL SUBGRADE ELEVATION TO ALLOW FOR GRADE CHANGES AND THE PLACEMENT OF THE RECOMMENDED PAVEMENT SYSTEM.
- ON SITE FILL MATERIAL CAN BE USED IF THE SPECIFIED COMPACTION REQUIREMENTS CAN BE ACHIEVED. IF ON SITE MATERIAL IS USED, IT SHOULD BE CLEAN AND FREE OF FROZEN SOIL, ORGANICS, OR OTHER DELETERIOUS MATERIALS.
- THE FINAL SUBGRADE SHOULD BE THOROUGHLY PROOFROLLED USING A LOADED TANDEM AXLE TRUCK UNDER THE OBSERVATION OF GEOTECHNICAL/PAVEMENT ENGINEER. LOOSE OR YIELDING AREAS THAT CANNOT BE MECHANICALLY STABILIZED SHOULD BE REMOVED AND REPLACED WITH ENGINEERED FILL OR AS DICTATED BY FIELD CONDITIONS.
- THE AGGREGATE BASE SHOULD BE COMPACTED TO ACHIEVE A MINIMUM OF 95 PERCENT OF THE MAXIMUM MODIFIED PROCTOR DRY DENSITY. THE BASE AND SUBGRADE COMPACTION SHOULD EXTEND A MINIMUM OF 12 INCHES BEYOND THE PAVED EDGE OR BACK OF CURB.

LEGEND

- 75 — PROPOSED MAJOR CONTOUR
- 76 — PROPOSED MINOR CONTOUR
- × TC=75.01 BC=77.51 PROPOSED TOP OF CURB / BOTTOM OF CURB ELEVATION
- × TC/TW=152.50 PROPOSED TOP OF CURB / TOP OF WALL
- × 77.73 PROPOSED SPOT ELEVATION
- × HP=77.73 PROPOSED HIGH POINT ELEVATION
- × RE=77.73 PROPOSED RIM ELEVATION
- × FF=77.73 FINISHED FLOOR ELEVATION
- 2.5% — PROPOSED SLOPE
- 72 --- EXISTING CONTOUR
- × TC=72.23 BC=74.53 EXISTING TOP OF CURB / BOTTOM OF CURB ELEVATION
- × 74.53 EXISTING SPOT ELEVATION
- --- PROPOSED RIP RAP
- --- RIDGE LINE



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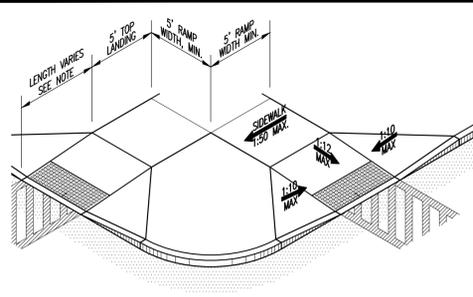
REVISIONS			
NO.	DATE	DESCRIPTION	REV. CK'D
1	3/15/2013	SITE PLAN REVIEW	

GRADING PLAN

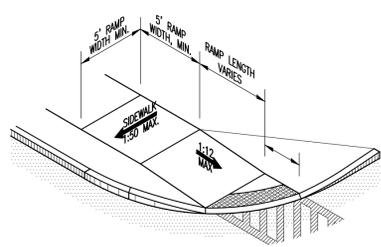
Project Manager:
G. POPOVICH
Designed by:
A. NODARSE
Drawn by:
A. NODARSE
Checked by:
P. FURTAW
Date Issued:
MARCH 15, 2013
Scale:
1"=20'

Project Number: File Name:
C120.dwg

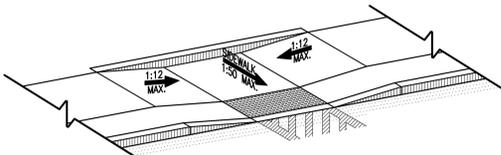
Drawing Number:
C120



PERPENDICULAR SIDEWALK CURB RAMP WITH SIDE FLARES (TYPE 7)



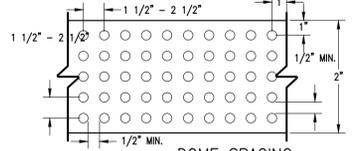
CURB RAMP WITHOUT SIDE FLARES (TYPE 1)



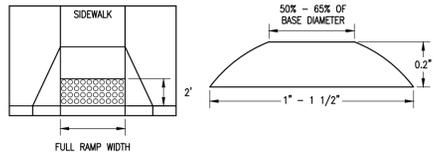
COMBINED PARALLEL/PERPENDICULAR CURB RAMP (TYPE 10)

NOTES:

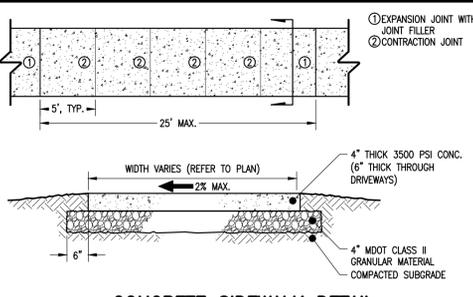
- TRUNCATED DOME DETECTABLE WARNING PLATES SHALL BE IN ACCORDANCE WITH CITY OF EAST LANSING REQUIREMENTS. PLATES SHALL BE ADA COMPLIANT AND SHALL BE MANUFACTURED BY EAST JORDAN IRON WORKS. PLATES SHALL BE DIPPED AND CONTRAST VISUALLY WITH ADJACENT WALK SURFACES, EITHER LIGHT-ON-DARK OR DARK-ON-LIGHT. THE CONTRACTOR SHALL OBTAIN APPROVAL FROM THE CITY OF EAST LANSING FOR THE DETECTABLE WARNING SURFACE COLOR PRIOR TO APPLICATION.
- THE DETECTABLE WARNING DETAILS PROVIDED ARE NOT DRAWN TO SCALE. THE QUANTITY OF DOMES DEPICTED ON THE DETECTABLE WARNING FIELD (THE DOMES AND THE ENTIRE 2' LEVEL SURFACE) IS FOR ILLUSTRATION ONLY.
- LOCATION OF DETECTABLE WARNINGS: DETECTABLE WARNINGS SHALL BE LOCATED SO THAT THE EDGE OF THE WARNING FIELD NEAREST TO THE ROADWAY OR STREET SURFACE IS 6" TO 9" (1" WHERE TRANSVERSABLE CURB IS USED) FROM THE EDGE OF THE ROADWAY/STREET, OR FROM THE FACE OF THE DROPPED CURB, WHERE A DROPPED CURB CONTINUES ACROSS THE BOTTOM OF THE SIDEWALK CURB RAMP. THE DETECTABLE WARNINGS SHALL EXTEND THE FULL WIDTH OF THE CURB RAMP OR FLUSH SURFACE.
- DOMES DETECTABLE WARNINGS SHALL BE ALIGNED ON A SQUARE GRID IN THE PREDOMINANT DIRECTION OF TRAVEL.
- PAYMENT LINES ARE THE 2' DIMENSION SHOWN IN THE DETAILS EXTENDING THE FULL WIDTH OF THE CURB RAMP AND/OR APPLICABLE SURFACES. LANDINGS SHALL HAVE A MINIMUM CLEAR DIMENSION OF A 5' BY 5' SQUARE.
- LANDINGS MAY OVERLAP WITH ADJACENT LANDINGS OR A SINGLE LANDING MAY SERVE MULTIPLE CURB RAMP OR PARALLEL/PERPENDICULAR RAMP. LANDINGS MAY OVERLAP WITH THE CLEAR GROUND SPACE REQUIRED AT PEDESTRIAN SIGNAL PUSH BUTTONS.
- CROSS SLOPES: THE MAXIMUM CROSS SLOPE OF CURB RAMP SHALL BE 2 PERCENT. THE MAXIMUM CROSS SLOPE AT LANDINGS IS 2 PERCENT IN ANY DIRECTION. SURFACES SHALL GENERALLY LIE IN CONTINUOUS PLANES WITH A MINIMUM OF SURFACE WARP.
- THE RUNNING GRADE OF CURB RAMP SHOULD BE AS FLAT AS PRACTICABLE. THE MAXIMUM RUNNING GRADE OF ANY PORTION OF ANY CURB RAMP SHALL BE 1:12 (8.3%). CURB RAMP ARE NOT REQUIRED TO BE LONGER THAN 15'.
- SURFACE OF ALL CURB RAMP SHALL BE STABLE, FIRM AND SLIP RESISTANT. A COARSE BROOM FINISH RUNNING PERPENDICULAR TO THE SLOPE IS RECOMMENDED ON CONCRETE RAMP SURFACES, EXCLUSIVE OF THE DETECTABLE WARNING FIELDS.
- CURB RAMP LOCATED WHERE PEDESTRIANS MAY WALK ACROSS THE CURB RAMP SHALL HAVE FLARED SIDES. THE LENGTH OF THE FLARES SHALL BE AT LEAST TEN (10) TIMES THE CURB HEIGHT, MEASURED ALONG THE CURB LINE. WHEN INFASIBLE OR IMPRACTICABLE TO PROVIDE A LANDING THAT IS AT LEAST 4' WIDE (MEASURED FROM THE TOP OF THE RAMP TO THE BACK OF THE SIDEWALK), THE LENGTH OF THE FLARES SHALL BE TWELVE (12) TIMES THE CURB HEIGHT MEASURED ALONG THE CURB LINE.
- COORDINATE ALL TRAFFIC CONTROL DEVICES, UTILITY LOCATIONS, SIGNS, STREET FURNITURE AND DRAINAGE TO ENSURE A CONTINUOUS PEDESTRIAN ACCESS ROUTE AT ALL CURB RAMP LOCATIONS. GUIDANCE FOR CROSSWALK MARKINGS AND TRAFFIC CONTROL DEVICES IS PROVIDED IN THE MUTCD. DRAINAGE GRATES AND UTILITY ACCESS COVERS ARE NOT ALLOWED IN RAMP WALKING SURFACES OR LANDINGS.
- AT MARKED CROSSINGS, THE FULL WIDTH OF THE RAMP SHALL BE WHOLLY CONTAINED WITHIN THE MARKINGS. THE SIDES OF THE RAMP (THE FLARES) NEED NOT BE WITHIN THE WIDTH OF THE MARKINGS.
- RAMP TRANSITIONS BETWEEN WALKS, GUTTERS, OR STREETS SHALL BE FLUSH AND FREE OF ABRUPT VERTICAL CHANGES (1/4" MAX).



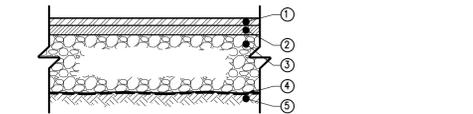
DOMES SPACING



DETECTABLE WARNING AT CURB RAMP



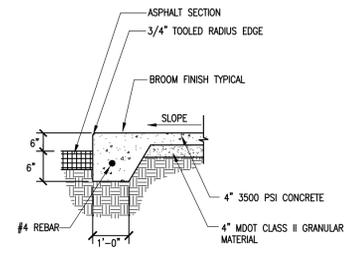
CONCRETE SIDEWALK DETAIL N.T.S.



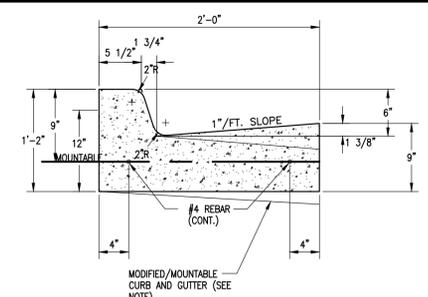
- 2" MDOT HMA WEARING COURSE
- 2" MDOT HMA LEVELING COURSE
- 6" MDOT 2 1/4" AGGREGATE
- MIRAFLEX 500K GEOTEXTILE FABRIC (AS REQUIRED)
- COMPACTED SUBGRADE

THICKENED EDGE WALK DETAIL N.T.S.

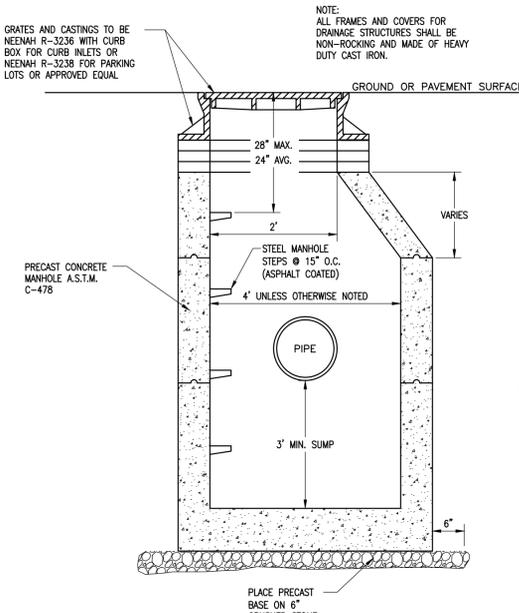
STANDARD DUTY ASPHALT PAVEMENT SECTION N.T.S.



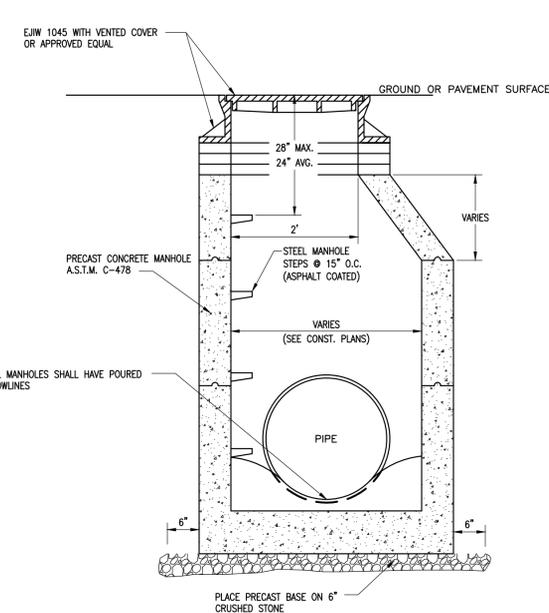
THICKENED EDGE WALK DETAIL N.T.S.



MDOT F-4 CURB AND GUTTER DETAIL N.T.S.

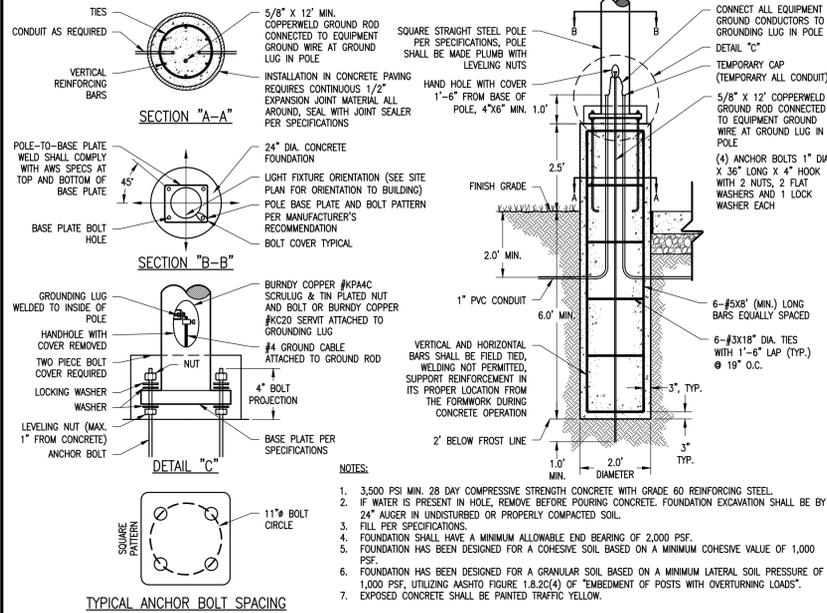


CATCH BASIN DETAIL N.T.S.



STORM MANHOLE DETAIL N.T.S.

ACCESSIBLE RAMPS WITH DETECTABLE WARNING STRIP DETAILS N.T.S.



SITE LUMINAIRE FOUNDATION DETAIL (ROUND BASE) N.T.S.

- 3,500 PSI MIN. 28 DAY COMPRESSIVE STRENGTH CONCRETE WITH GRADE 60 REINFORCING STEEL.
- IF WATER IS PRESENT IN HOLE, REMOVE BEFORE POURING CONCRETE. FOUNDATION EXCAVATION SHALL BE BY 24" AUGER IN UNDISTURBED OR PROPERLY COMPACTED SOIL.
- FILL PER SPECIFICATIONS.
- FOUNDATION SHALL HAVE A MINIMUM ALLOWABLE END BEARING OF 2,000 PSF.
- FOUNDATION HAS BEEN DESIGNED FOR A COHESIVE SOIL BASED ON A MINIMUM COHESIVE VALUE OF 1,000 PSF.
- FOUNDATION HAS BEEN DESIGNED FOR A GRANULAR SOIL BASED ON A MINIMUM LATERAL SOIL PRESSURE OF 1,000 PSF, UTILIZING AKASHI FIGURE 1.8.20(4) OF 'EMBEDMENT OF POSTS WITH OVERTURNING LOADS'.
- EXPOSED CONCRETE SHALL BE PAINTED TRAFFIC YELLOW.

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NO.	DATE	DESCRIPTION	REV. CK'D
1	3/15/2013	SITE PLAN REVIEW	

MISCELLANEOUS DETAILS

Project Manager:
C. POPOVICH
 Designed by:
A. NODARSE
 Drawn by:
A. NODARSE
 Checked by:
P. FURTAW
 Date Issued:
 MARCH 15, 2013
 Scale:
AS SHOWN

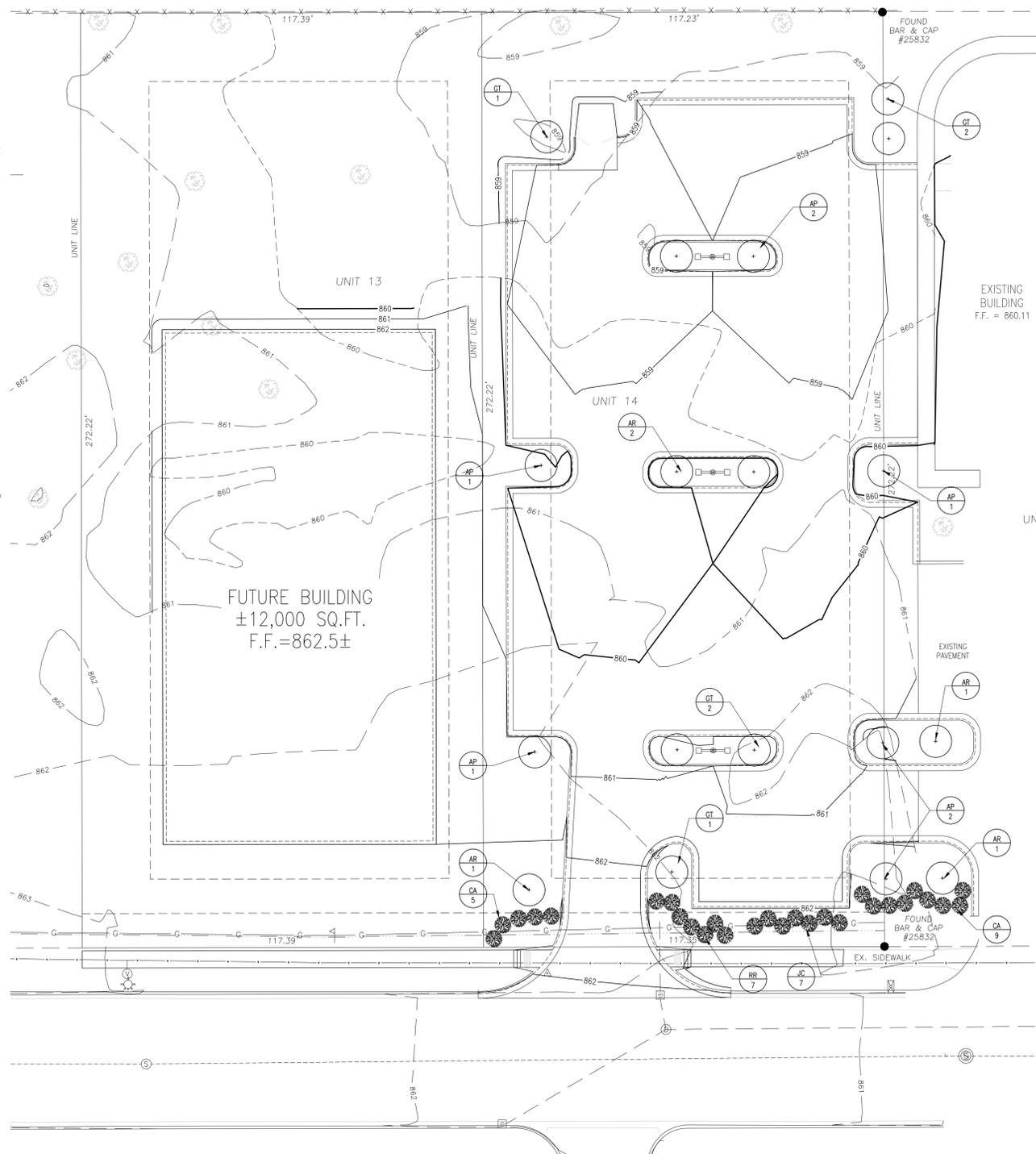
Project Number: File Name:
C500.DWG

Drawing Number:

C500

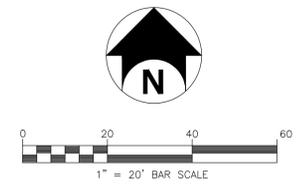
LANDSCAPE NOTES:

- ALL PLANTS MUST BE HEALTHY, VIGOROUS, AND FREE OF PESTS AND DISEASE.
- STANDARDS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK", ANSI Z60.1 (LATEST EDITION) REPRESENT GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIAL.
- ALL PLANTS MUST BE HARDY UNDER CLIMATE CONDITIONS THAT EXIST AT THE PROJECT SITE AND GROWN AT A NURSERY AT THE SAME HARDINESS ZONE AS THE PROJECT LOCATION.
- NO SUBSTITUTIONS SHALL BE PERMITTED WITHOUT PRIOR WRITTEN APPROVAL OF THE OWNER OR OWNER'S REPRESENTATIVE.
- ALL TREES MUST BE STRAIGHT TRUNKED, INJURY FREE AND FULL HEADED AND MEET ALL REQUIREMENTS SPECIFIED.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS BEFORE PRICING THE WORK.
- ANY DISCREPANCY WITH QUANTITIES, LOCATIONS AND / OR FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- MULCH ALL ISLANDS AND PLANTINGS IN LAWN AREAS WITH SHREDDED HARDWOOD MULCH TO A MINIMUM DEPTH OF THREE (3) INCHES UNLESS OTHERWISE DIRECTED.
- ANY PLANT WHICH DIES, TURNS BROWN, OR DEFOLIATES (PRIOR TO TOTAL ACCEPTANCE OF THE WORK) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY AND SIZE MEETING ALL PLANT LIST SPECIFICATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR FULLY MAINTAINING ALL PLANT MATERIALS (INCLUDING, BUT NOT LIMITED TO: WATERING, SPRAYING, MULCHING, FERTILIZING, AND REMOVAL OF STAKES AND GUYS) AND LAWN AREAS UNTIL THE WORK IS ACCEPTED IN TOTAL BY THE OWNER.
- THE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE (1) YEAR, BEGINNING ON THE DATE OF TOTAL ACCEPTANCE. THE CONTRACTOR SHALL PROMPTLY MAKE ALL REPLACEMENTS BEFORE THE END OF THE GUARANTEE PERIOD.
- ALL AREAS DISTURBED BY UTILITY INSTALLATION AND SITE GRADING ACTIVITY SHALL BE SOODED PER THE LEDES COMMERCE PARK, INC. ARCHITECTURAL RESTRICTIONS AND GUIDELINES.
- LOCATIONS OF EXISTING BURIED UTILITIES SHOWN ON THE PLAN ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATIONS OF ALL UNDERGROUND UTILITY LINES ADJACENT TO THE WORK AREA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES AND SITE APPURTENANCES, ETC., WHICH OCCURS AS A RESULT OF THE LANDSCAPE INSTALLATION.
- EXISTING TREES TO REMAIN SHALL BE PROTECTED BY INSTALLING TEMPORARY FENCING A MINIMUM 5' OUTSIDE THE DRIP LINE OF THE TREE. LAWN AREAS SHALL BE PROTECTED WITH FENCING AT LIMITS DEFINED BY THE PROJECT MANAGER. ANY TRAFFIC OF CONSTRUCTION WITHIN THE PROTECTED AREAS REQUIRES AUTHORIZATION FROM THE PROJECT MANAGER OR MANAGER OF HORTICULTURE AND GROUNDS.
- ALL LANDSCAPE AREAS TO BE SOODED EXCEPT WHERE OTHER PLANT MATERIAL IS CALLED FOR.
- ALL PLANTINGS IN MULCH BEDS WITH ALUMINUM EDGE STRIPS TO SEPARATE TURF GRASS AREAS.
- ANY LANDSCAPE AREAS DISTURBED BY CONSTRUCTION SHALL BE SCARIFIED TO A DEPTH OF TWO (2) INCHES, GRADED SMOOTH TO ALLOW FOR POSITIVE DRAINAGE. FOR ANY LANDSCAPE AREA SO DESIGNATED TO REMAIN WHETHER ON OR OFF SITE, REMOVE WEEDS, ROCKS, CONSTRUCTION ITEMS, ETC., SCARIFY AREA, SOOD AND FERTILIZE. ALL R.O.W. CURB AND GUTTERS ARE TO BE CLEANED OF DEBRIS.
- FINISHED GRADE IN LANDSCAPE ISLANDS SHALL BE INSTALLED SO THAT THEY ARE ONE (1) INCH LOWER THAN THE TOP OF THE SURROUNDING CURBS.
- ALL PLANT MATERIALS TO RECEIVE PERMANENT UNDERGROUND AUTOMATIC IRRIGATION SYSTEM DESIGNED BY AN IRRIGATION CONTRACTOR LICENSED BY THE STATE. THE CONTRACTOR SHALL PROVIDE DRAWINGS FOR APPROVAL TO THE OWNER AND THE APPLICABLE REVIEWING AGENCY PRIOR TO CONSTRUCTION.
- SLOPE STABILIZATION - HYDROSEED WITH COMPATIBLE TURF SEED AND OVERLAY TURF MATS ON ALL SLOPES GREATER THAN 3:1 ON SITE. IF SOO CAN NOT BE STAKED PROPERLY, USE PYRAMAT, BY SYNTHETIC INDUSTRIES, OR EQUAL. CONTRACTOR TO REPAIR ALL AREAS OF EROSION TO SATISFACTION TO ESTABLISH PROPER TURF WITHIN ONE YEAR.



PLANT LIST

SYMBOL	KEY	QTY	SCIENTIFIC NAME	COMMON NAME	INSTALLED SIZE	CONDITION
SHADE TREES						
AR	5	5	<i>Acer rubrum</i> 'Karpick'	Karpick Red Maple	3 1/2" cal.	B&B
GT	6	6	<i>Gleditsia triacanthos</i> 'Inermis	Imperial Honeylocust	3 1/2" cal.	B&B
AP	7	7	<i>Acer platanoides</i>	Norway Maple	3 1/2" cal.	B&B
DECIDUOUS / EVERGREEN SHRUBS						
CA	14	14	<i>Clethra alnifolia</i> 'Summersweet'	Summersweet	No. 3 Cont.	Cont.
JC	7	7	<i>Juniperus chinensis</i> 'Pfitzeriana Compacta'	Pfitzer Juniper	No. 3 Cont.	Cont.
RR	7	7	<i>Rosa rugosa</i>	Rugosa Rose	No. 2 Cont.	Cont.



BENCH MARKS:

Top of Northwest flange bolt on hydrant located 140 feet west of Torch Drive and 2 feet North of Charlevoix Drive. Elevation: 864.44 NAVD 88 datum.

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REVISIONS

NO.	DATE	DESCRIPTION	REV.	CKD
1	3/15/2013	SITE PLAN REVIEW		

LANDSCAPE PLAN

Project Manager:
C. POPOVICH
Designed by:
A. NODARSE
Drawn by:
A. NODARSE
Checked by:
P. FURTAW
Date Issued:
MARCH 15, 2013
Scale:
1"=20'

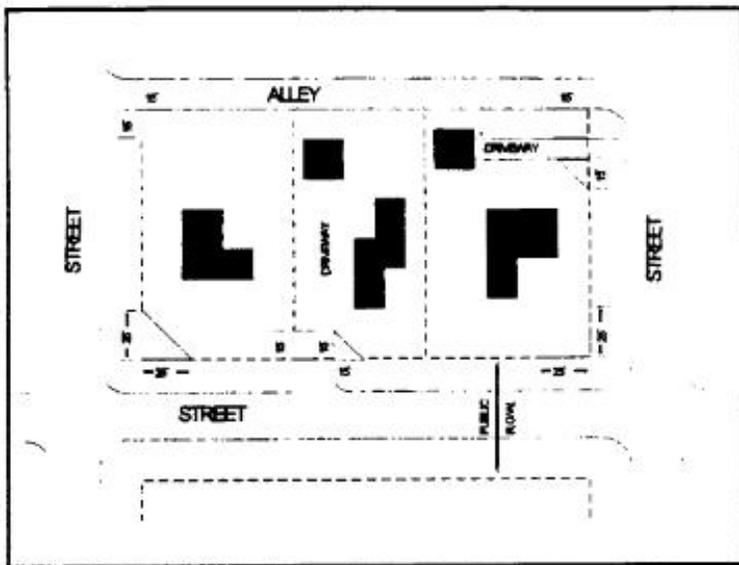
Project Number: File Name:
L100.DWG

Drawing Number:

L100

§ 220-71. Corner clearance.

No fence, wall, shrubbery, sign or other obstruction to vision above a height of ~~two~~ THREE feet from the established street grades shall be permitted within the triangular area formed at the intersection of any street right-of-way lines by a straight line drawn between said right-of-way lines at a distance along each line of 25 feet from their point of intersection, nor shall such obstruction to vision be permitted at the intersection of any driveway or alley and a street right-of-way line within a triangular area formed at such intersection by a straight line drawn between the driveway or alley line and the street right-of-way line at a distance along each line of 15 feet from their point of intersection. In those instances where such triangular area cannot be constructed on the property in question, a fifteen-foot setback shall be required between the property line and the driveway or alley (see sketch).



Corner Clearance

§ 220-72. Access to a street.

Any lot of record created after the effective date of this chapter shall have AT LEAST 20 FEET OF frontage on a public street. Any one lot of record created before the effective date of this chapter without any frontage on a public street shall not be occupied without access provided by an easement or other right-of-way no less than 20 feet wide.

§ 220-73. Residential entranceway.

In all residential districts, so-called "entranceway structures," including but not limited to walls, columns and gates marking entrances to single-family neighborhoods or multiple-housing complexes, may be permitted and may be located in a required yard, except as provided in § 220-71, Corner clearance, provided that such entranceway structures shall comply with all codes of the City and shall be approved by the Zoning Administrator and Building Inspector. Site plan review by the Planning Commission is not required.

§ 220-74. Access management.

- A. The standards of this section are intended to promote safe and efficient travel within the City; minimize disruptive and potentially hazardous traffic conflicts; separate traffic conflict areas by reducing the number of driveways; provide efficient spacing standards between driveways, and between driveways and intersections; protect the substantial public investment in the street system; and to ensure reasonable access to properties, though not always by the most direct route.
- B. The following standards shall apply to all uses except residential developments involving fewer than five dwelling units. However, if it appears that there would be unusual difficulty encountered in meeting these requirements because of grade changes, existing or proposed intersections, driveways, bridges, or other land restrictions, the Planning Commission, upon recommendation of the City Engineer OR THE MICHIGAN DEPARTMENT OF TRANSPORTATION, may waive or modify the requirements of this section.
- (1) Acceleration-deceleration-passing lanes:
- (a) Driveways providing ingress and egress to all two-lane, paved major thoroughfares shall be provided with paved acceleration and deceleration lanes and passing lanes, IF RECOMMENDED BY THE CITY ENGINEER OR THE MICHIGAN DEPARTMENT OF TRANSPORTATION.
 - (b) Driveways providing ingress and egress to all three-lane, paved major thoroughfares shall be provided with paved acceleration and deceleration lanes IF RECOMMENDED BY THE CITY ENGINEER OR THE MICHIGAN DEPARTMENT OF TRANSPORTATION.
 - (c) Driveways providing ingress and egress to roads of four or more lanes shall be provided with paved tapers or turning lanes IF RECOMMENDED BY THE CITY ENGINEER OR THE MICHIGAN DEPARTMENT OF TRANSPORTATION.
 - (d) Required lanes or tapers shall be indicated schematically on the site plan and shall be constructed in accordance with the standards for such facilities as established by the City Engineer OR MICHIGAN DEPARTMENT OF TRANSPORTATION.
- (2) Driveway spacing:
- (a) ~~Except in instances where a shared driveway is proposed, there shall be a minimum spacing of 25 feet between the center line of a driveway and the adjacent property line not including the right turn lane and/or taper. The~~

Intersecting Street	Full Movement Driveway	One-Way Drives
Major thoroughfare	250 feet	100 feet
Signalized major thoroughfare	200 feet	75 feet
Local or secondary thoroughfare	100 feet	75 feet

D. Number of driveways. Where driveway spacing standards can be met (outlined in Subsection B above), an individual parcel or contiguous parcels under the same ownership shall be permitted one two-way driveway or a paired one-way driveway system wherein one driveway is designed, and appropriately marked, to accommodate ingress traffic and the other egress traffic. In the following instances the Planning Commission may allow more than one driveway:

- (1) Developments that can demonstrate that the number of vehicle trip ends will exceed 3,000 during an average day (or will be used by 300 or more vehicles during the peak hour of traffic for either the thoroughfare or the use), and lacking access to a second street, a second driveway may be allowed along the major thoroughfare provided that the additional driveway can meet the spacing standards of Subsection B above.
- (2) For parcels with arterial frontage of at least 300 feet, one additional driveway may be allowed, with another driveway allowed for each 300 feet of frontage thereafter, provided that these driveways meet the standards of Subsection B above.
- (3) Where parcels have frontage on more than one street the Planning Commission may allow the provision of two drives; one to each street provided that the standards of Subsections B and C above are met.

E. Alternative means of access. To reduce the number of curb cuts to the City's major thoroughfares, alternative means of access shall be encouraged in general. However, due to the driveway spacing standards specified in Subsection B above, a shared driveway may be the only design solution that will be permitted. In such cases the following alternative means of access may apply:

- (1) Shared driveways. Sharing or joint use of a driveway by two or more property owners shall be encouraged. The shared driveway shall be constructed along the midpoint between the two properties. If a written easement is provided which allows traffic to travel across one parcel to access another, or access the public street, the driveway can be located entirely on one parcel.
- (2) Frontage roads.

- (a) In cases where a frontage road exists, is recommended in a plan adopted by the Grand Ledge Planning Commission and/or is proposed in an approved site plan for an adjoining lot or parcel, access shall be provided via such frontage road, rather than by direct connection to the major thoroughfare.
 - (b) In areas where frontage roads are planned, but adjacent properties have not yet developed, the site shall be designed to accommodate a future road. In such instances, the Planning Commission may temporarily grant individual parcels a direct connection to the adjacent major thoroughfare. A performance bond or other financial guarantee must be provided which assures elimination of the temporary access upon completion of the service road. Occupancy permits shall not be issued until such financial guarantee has been submitted to the City.
- (3) Parking lot connections. All parking lots shall be designed in such a way as to allow for a connection to the parking lot of an existing or future use. Such connection shall be a minimum of 20 feet in width and shall be set back a minimum of 30 feet from the planned future right-of-way of adjacent roads.

MEMO

TO: Planning Commission

FROM: Susan Stachowiak
Zoning Administrator

DATE: November 28, 2012

RE: Ordinance Violations - October & November, 2012

Gary & Kelly Glassnor 303 W. Main Street	Violation of Ord. 220-57 Parking on lawn	Owner has complied
Matthew & Melissa Norick 1103 Jenne Street	Violation of Ord. 220-57 Parking on lawn	Owner has complied
Dorothy Archambeau 326 E. Lincoln Street	Violation of Ord. 220-57 Parking on lawn	Owner still has time to comply
Patrick & Lisa Reed 323 E. Scott Street	Violation of Ord. 220-57 Parking on lawn	Owner still has time to comply
James Parrish 510 Liberty Street	Violation of Ord. 178-4 Parking Road ROW	Owner has complied
Marcia Gales 507 North Street	Violation of Ord. 220-57 Junk Vehicles	Owner still has time to comply
Steven & Kristin Baxter 409 Booth Street	Violation of Ord. 220-57 Junk Vehicles	Owner still has time to comply
Richard & Julie Stornant 127 W. Main Street	Violation of Ord. 220-57 Junk Vehicle	Owner still has time to comply
Concrete Development 327 N. Bridge Street	Violation of Ord. 124-3 Unlawful Accumulation of Junk	Owner still has time to comply
Moji Miller 312 Lampson Street	Violation of Ord. 124-3 Unlawful Accumulation of Junk	Owner still has time to comply
Matthew Dykstra 1015 Jenne Street	Violation of Ord. 124-3 Unlawful Accumulation of Junk	Owner still has time to comply
Robert Therrian 411 W. Main Street	Violation of Ord. 124-3 Unlawful Accumulation of Junk	Owner still has time to comply

February & March, 2013– Violation Report

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Federal Home Loan 117 Edwards Street	Violation of Ord. 124-3 Unlawful Accumulation of Junk	Owner still has time to comply
Robert & Karen Pugh 176 McMillan Street	Violation of Ord. 124-3 Unlawful Accumulation of Junk	Owner still has time to comply
Murle & Jeanne McNutt 119 W. Kent Street	Violation of Ord. 124-3 Unlawful Accumulation of Junk	Owner still has time to comply
Kevin & Lori Rademacher 144 Grand Manor Drive	Violation of Ord. 124-3 Unlawful Accumulation of Junk	Owner has complied
Charles & Janet Sawaya Trust 138-140 Grand Manor Drive	Violation of Ord. 124-3 Unlawful Accumulation of Junk	Owner has complied
Edythe E. Brunger Estate 629 Maple Street	Violation of Ord. 198-1 Dead Tree	Owner's representative has contacted me and will be complying when weather permits